

WILLIAMS TOWNSHIP
NORTHAMPTON COUNTY, PENNSYLVANIA
ORDINANCES FOR THE
SANITARY SEWER SYSTEM

ORDINANCE 92- 8
PUBLIC SEWER RATES, RULES
AND REGULATION ORDINANCE

ORDINANCE 92- 9
SEWER CONNECTION AND TAPPING
FEE ORDINANCE

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WILLIAMS TOWNSHIP
NORTHAMPTON COUNTY, PA

ORDINANCE 92-8 - SHORT TITLE -
"PUBLIC SEWER RATES, RULES AND REGULATION ORDINANCE"

AN ORDINANCE

OF THE BOARD OF SUPERVISORS OF WILLIAMS TOWNSHIP, NORTHAMPTON COUNTY, PENNSYLVANIA IMPOSING RATES, RULES AND REGULATIONS GOVERNING SEWER SERVICE WHEN OBTAINED FROM THE SEWER SYSTEM OF THIS TOWNSHIP: PROVIDING FOR THE PAYMENT AND COLLECTION OF SUCH CHARGES: AND IMPOSING SEWER CHARGES TO BE COLLECTED FROM THE OWNER OF EACH IMPROVED PROPERTY WHICH SHALL BE CONNECTED OR WHICH SHALL BE REQUIRED TO BE CONNECTED TO THE SEWER SYSTEM, AND PRESCRIBING PENALTIES FOR VIOLATIONS.

The Board of Supervisors of the Township of Williams, Northampton County, Pennsylvania, hereby enacts and ordains the following:

ARTICLE I - DEFINITIONS

SECTION 1.01. Unless the context specifically and clearly indicates otherwise, the meaning of terms used in this Ordinance shall be as follows:

- A. "Apartments" shall mean Structures containing domestic establishments, not classified as a single family detached or attached structure.
- B. "Authority" shall mean the Williams Authority (if any is created), a municipality authority, incorporated pursuant to the provisions of the Municipality Authorities Act of 1945, approved May 2, 1945, P. L. 382, as amended and supplemented, of the Commonwealth of Pennsylvania.
- C. "BOD" (Biochemical Oxygen Demand) shall mean the quantity of oxygen, expressed in mg/l, utilized in the biochemical oxidation of organic matter under standard laboratory procedure for five (5) days at twenty (20) degrees Centigrade. The standard laboratory procedure shall be that found in the latest edition of "Standard Methods for the Examination of Water and Wastewater" published by the American Public Health Association.
- D. "Building Sewer" shall mean the extension from the sewage drainage system of any structure to the Lateral of a Sewer.
- E. "COD" (Chemical Oxygen Demand) shall mean the quantity of oxygen expressed in mg/l, utilized in the chemical oxidation of organic matter under standard laboratory procedure.
- F. "Commercial Establishment" shall mean any Improved Property used, in whole or in part, for sale, storage and/or distribution of any product, commodity, article or service.
- G. "Domestic Establishment" shall mean any room, group of rooms, house trailer or other enclosure occupied or intended for occupancy as separate living quarters with separate cooking facilities by a family or other group of persons living together or by a person living alone.
- H. "Improved Property" shall mean any property on which there is erected a structure intended for continuous or periodic habitation, occupancy or use by human beings or animals and/or from which structure Sanitary Sewage and/or Industrial Wastes is or may be discharged.
- I. "Industrial Establishment" shall mean any Improved Property used or intended for use wholly or in part for the manufacturing, processing, cleaning, laundering or assembling of any product, commodity or article or from which wastes, in addition to and other than Sanitary Sewage, shall be discharged.
- J. "Industrial Wastes" shall mean any solid, liquid or gaseous substance or form of energy ejected or escaping in the course of any industrial, manufacturing, trade or business process or in the course of the development, recovery or processing of natural resources, as distinct from Sanitary Sewage.

- K. "Lateral" shall mean that part of the sewer system extending from a sewer to the curb line or if there shall be no curb line, to the property line, or if no such lateral shall be provided then "Lateral" shall mean that portion of, or place in, a sewer which is provided for connection of any building sewer.
- L. "Mobile Home" shall mean a transportable, single family dwelling intended for permanent occupancy, office or place of assembly contained in one unit, or in two units designed to be joined into one integral unit capable of again being separated for repeated towing, which arrives at a site complete and ready for occupancy except for minor and incidental unpacking and assembly operations, and constructed so that it may be used without a permanent foundation.
- M. "Mobile Home Park," shall mean a parcel of land under single ownership which has been planned and improved for the placement of mobile homes for non-transient use, consisting of two or more mobile home lots.
- N. "mg/l" shall mean milligrams per liter.
- O. "Non-Domestic Establishment" shall mean any Improved Property or portions thereof not classified as a Domestic Establishment.
- P. "Owner" shall mean any Person vested with ownership, legal or equitable, sole or partial, of any Improved Property.
- Q. "Person" shall mean any individual, partnership, company, association, society, trust, corporation, municipality, municipal authority or other group or entity.
- R. "pH" shall mean the logarithm of the reciprocal of the weight of hydrogen ions, expressed in grams per liter of solution, which indicates the degree of acidity or alkalinity of a substance. A stabilized "pH" will be considered as a "ph" which does not change beyond the specified limits when the waste is subjected to aeration. It shall be determined by one of the accepted methods described in the latest edition of "Standard Methods for Examination of Water and Wastewater" published by The American Public Health Association.
- S. "Plumbing Inspector" shall mean that individual appointed by the Township or its agent to enforce the terms of these rules and regulations.
- T. "Sanitary Sewage" shall mean normal water-carried household and toilet wastes from any Improved Property.
- U. "Sewer" shall mean any pipe or conduit constituting a part of the Sewer System used or usable for sewage collection purposes.
- V. "Sewer System" shall mean all facilities, as of any particular time, for collecting, pumping, transmitting, treating and disposing of Sanitary Sewage and/or Industrial Wastes, situate in or adjacent to this Township, and owned by the Township (or its Authority).

- W. "Single Family Detached Dwelling" shall mean a single family dwelling unit, excluding mobile homes, which occupies the structure from ground to roof with independent access, service and use of land, and with open yards on all four sides.
- X. "Single Family Attached Dwelling" Shall mean a single family dwelling unit, excluding mobile homes, which occupies the structure from ground to roof with independent access, service and use of land with one or more walls in common with another dwelling unit or other type structure.
- Y. "Slug" shall mean any discharges of water, Sanitary Sewage, or Industrial Wastes which in concentration of any given constituent or in quality of flow exceeds for any period of duration longer than fifteen (15) minutes more than five (5) times the average twenty-four (24) hour concentration, or flow, during normal operation.
- Z. "Suspended Solids" ("SS") shall mean solids that either float on the surface of or are in suspension in water, Sanitary Sewage, Industrial Wastes or other liquids and which are removable by laboratory filtering.
- AA. "Township" shall mean the Township of Williams, Northampton County, Pennsylvania, a township of the Second Class of the Commonwealth of Pennsylvania acting by and through its Board of Supervisors, or, in appropriate cases, acting by and through its authorized representative.

ARTICLE II - SEWER RENTALS AND CHARGES

SECTION 2.01. Sewer rentals or charges are imposed upon and shall be collected from the Owner of each Improved property required to be connected to, or connected to the Sewer System, for availability or use of the Sewer System, whether such availability or use shall be direct or indirect, in accordance with the schedule of rates and classifications, described in the following sections.

SECTION 2.02. All Owners of Domestic Establishments required to be connected to, or connected to the sewer shall pay sewer rentals or charges at the rates established in "domestic establishment - rate schedule" provided below.

Each Domestic Establishment in a double house, in a row of connecting houses, in a mobile home park or in an apartment shall be billed as a separate entity even through the improved property may belong to one owner. In this case the property owner will be billed for all Domestic Establishments.

Domestic Establishment Rate Schedule

Type	Equivalent Dwelling Unit	Quarterly Rate
Single-family Detached Dwelling	one	\$125.00
Mobile Home; not in a Mobile Home Park	one	\$125.00
Single Family Attached Dwelling	one	\$125.00
Mobile Home in a Mobile Home Park	one	\$125.00
Apartment	one	\$125.00

SECTION 2.03. All Owners of Non-Domestic Establishments required to be connected, or connected to the sewer shall pay sewer rentals or charges at the rates established in the "Non-Domestic Establishment Rate Schedule" provided below.

Non-Domestic Establishment Rate Schedule

Type	Quarterly Rate
1. Each retail store, business, industry, or professional office not providing showers for employees, having 12 or less employees (except medical or dental). Each additional 6 employees or fraction thereof.	\$125.00 62.50
2. Each business or industry providing showers for employees, having 8 or less employees (except medical or dental office). Each additional 4 employees or fraction thereof.	125.00 62.50
3. Each restaurant, tavern and club, per 15 seats or fraction thereof, with no auto-dishwasher.	125.00
4. Each restaurant, tavern and club, per 10 seats or fraction thereof, with auto-dishwasher.	125.00
5. Each drive-in or quick service restaurant per 8 car spaces or fraction thereof.	125.00
6. Each hotel, motel and boarding house, per 5 rental rooms or fraction thereof.	125.00
7. Each self-service station, no service facilities.	125.00
8. Each service station, garage and/or automobile repair shop.	125.00
9. Each service station, garage with 450 sq. ft. of wash area or any fraction thereof. Each additional 450 sq. ft. of wash area or any fraction thereof.	250.00 125.00
10. Self-service or automatic car wash, each 250 sq. ft. or wash area or any fraction thereof.	125.00
11. Each laundromat, per 5 washers.	125.00
12. Each barber shop and beauty shop not attached to or not forming part of an Owner's residence, first chair: Beauty or Barber Shop	150.00
Each additional chair: Beauty or Barber Shop	32.00

Non-Domestic Establishment Rate Schedule
(continued)

Type	Quarterly Rate
13. Each barber shop and beauty shop attached to or forming part of Owner's residence,	
first chair: Beauty or Barber Shop	32.00
Each additional chair: Beauty or Barber Shop	32.00
14. Each church	125.00
Plus (as applicable) for each 5,000 sq. ft. of social room area, or day care center, or any fraction thereof, having kitchen facilities.	125.00
15. Each bowling alley, per 8 lanes or fraction thereof, no food service.	125.00
Or each 4 lanes, or fraction thereof, having food service.	125.00
16. Each school, public or private, having:	
a. Toilet facilities only, per 50 pupils, or fraction thereof.	125.00
b. Toilet facilities and kitchen, per 35 or fraction thereof.	125.00
c. Toilet facilities, kitchen, gymnasium, and showers per 27 pupils, or fraction thereof.	125.00
17. Fire Hall or Fire Company	25.00
18. Institutions, nursing homes or hospitals, per 5 bed spaces, or fraction thereof.	125.00
19. Each medical or dental center or medical or dental office, separate, or attached to another structure, per each 600 sq.ft. of floor/office area or any fraction thereof.	125.00
20. Each non-domestic establishment not otherwise classified which does not discharge industrial waste and is regularly occupied during business hours by 12 persons or less, and	125.00
For each 12 additional persons or portions thereof, in regular occupancy during business hours.	125.00

SPECIAL NOTE: For the purposes of clarification for these non-domestic rates, a social room area shall be defined as an area where dinners, breakfast, weddings, or other similar events with food service, are held on a regular basis, that is on the average 4 or more times per month throughout the course of a year (typically 48 events or more per year).

SECTION 2.04. Sewer service for schools payable hereunder shall be computed on the basis of the average number of pupils enrolled during the school term preceding the date of the quarterly billing. Teachers and employees shall be included as pupils for purposes of such computation.

SECTION 2.05. The flat rate sewer service charges for sanitary sewage from businesses or industrial users payable shall be computed on the basis of the average number of employees (including individual owners and employers) for the calendar quarter preceding the date of the quarterly billing.

SECTION 2.06. If the Owner of any Non-Domestic establishment (including any school) shall fail to provide the Township with complete information required to compute the flat rate sewer service charge to such Non-Domestic Establishment, the Township may estimate a reasonable applicable sewer service charge for such Non-Domestic Establishment and such estimated sewer charge shall be the actual Sewer service charge payable until the information is provided.

SECTION 2.07. The Owner of an Industrial Establishment or any Improved Property that discharges Industrial Waste shall pay sewer rentals or for such wastes, above and beyond the Sanitary Sewage Charges at the rates established in the "Industrial Waste Rate Schedule" provided below.

Industrial Waste Rate Schedule

Water Usage (Quarterly Rate)	Quarterly Rate
First 20,000 gallons or less	\$125.00
Over 20,000 gallons	\$6.50/1,000 gal.

SECTION 2.08. The volume of Industrial Waste used for the purpose of calculating the Industrial Waste charge shall be based upon Water Utility Company meter readings, meter readings from a water or sewer meter installed and maintained by the Owner, but subject to inspection and approval of the Township, and/or from estimates or measurements made by the Township. The choice of the system used shall be the Township's. The volume of waste determined to be applicable shall be adjusted to eliminate the counting of Normal Sanitary Sewage volume, since the Owner is charged for sanitary sewage costs by way of the Flat Rate Charge System.

SECTION 2.09. If excessively strong sewage or waste is allowed to enter the sewer system (Refer to Section 4.01)

A. A surcharge shall be added to the Flat Rate Charge and the Volumetric Industrial Waste Sewage Service Charge for the collection and treatment of any Non-Domestic Sanitary Sewage or Industrial Waste that is "excessively strong." Excessively strong sewage or waste is defined as any such discharge having an average:

1. Biological Oxygen demand (B.O.D.)
greater than 300
parts per million (ppm)

2. And/or
Suspended Solids Content (S.S.)

Greater than 350 ppm

3. And/or
Chemical Oxygen Demand (C.O.D.)

Greater than 600 ppm

B. The surcharge for this excessive strength shall be based upon the following rate schedule;

1. For all Pounds of B.O.D.
over 300 ppm equivalent \$0.25/lb.
2. For all Pounds of S.S.
over 350 ppm equivalent \$0.35/lb.
3. For all Pounds of C.O.D.
over 600 ppm equivalent \$0.25/lb.

C) The strengths of this Non-Domestic Sanitary Sewage or Industrial Waste to be used in establishing the amount of surcharge shall be determined at least quarterly either by sampling and analysis by the Owner with methods and procedures approved by the Township or shall be determined by estimates made by the Township from known Sanitary Sewage or industrial wastes strengths of sewage or waste generated by similar establishments.

SECTION 2.10. If a Domestic Establishment and a Non-Domestic Establishment or if two or more than one Non-Domestic Establishments are connected to the Sewer System through a single Lateral; that is, if two or more types of use are made of the same Improved Property, the sewer service charge payable hereunder shall be computed as though each Domestic Establishment and each Non-Domestic use were a separate user with a separate connection to a Sewer.

SECTION 2.11. Except as noted below the Home Occupancy use of a portion of an improved property shall be subject to Non-Domestic Establishment sewer service charges as if it were a separate Non-Domestic Establishment. This sewer service charge is made in addition to any Domestic Establishment charge also applicable. The exception to this general rate regulation is that any Home Occupancy use;

- A. qualifying as only Type 1 or Type 2 Non-Domestic Establishments in the Rate Schedule listed above (Section 2.03),
- B. operated solely by the residents of the Domestic Establishment on the same improved property,
- C. Operated by four or less full-time or part time employees,

D. not creating any industrial waste

shall be subjected to the special Non-Domestic Establishment quarterly sewer rental rate of

\$11.00/employee.

"Home Occupancy" for the purpose of this Ordinance shall mean any use of improved property classified as a "Home Occupation" under the current Williams Township Zoning Ordinance.

SECTION 2.12. The user of a septage waste and Holding Tank Waste Drop Station owned and operated by the Township or the Authority shall pay sewage rentals or charges as follows:

Septage and Holding Tank Waste Rate Schedule

\$25.00 per One Thousand Gallons

SECTION 2.13. Additional classifications and sewer service charges or modifications of the above schedule of sewer service charges may be established by this Township from time to time as deemed necessary.

SECTION 2.14. For the purpose of determining and verifying the amount of sewer service charges payable under the flat rate schedule set forth above, or of determining the character and volume of discharge of Sanitary Sewage and Industrial Waste to the Sewer System or of determining compliance with this Township's Ordinance or any Township Ordinance, the Township or the Authority and/or its authorized representative shall have access at all reasonable times with reasonable notice to the properties using the Sewer System.

ARTICLE III - BILLING

SECTION 3.01. Billing for Improved Properties shall be rendered and payable quarterly in advance on the first days of January, April, July, and October of each year. Owners of property connected to the Sewer System for only a portion of a billing quarter shall pay 100% of the sewer rental for that quarter. All sewer rental billings shall be due and payable upon presentation, and if not paid within thirty days from the date of billing, a penalty of five (5%) percent shall be added. If sewer rental billings are not paid within sixty (60) days from the date of billing, an additional two (2%) percent per month financing and carrying charge shall be added to the original rental bill, and to the original five percent penalty. In the event litigation is necessary to enforce collection of bills, all costs of Court and/or Attorney Fees shall become a part of the bills due and all such costs shall be paid by the Owner.

ARTICLE IV - RULES AND REGULATIONS FOR SYSTEMS USE

SECTION 4.01. The Township reserves the right to refuse permission to connect to the Sewer System, to compel discontinuance of use of the Sewer system, or to compel pretreatment of wastewaters by any industry in order to prevent discharges deemed to be harmful, or to have a deleterious effect upon any portion of the Sewer System.

SECTION 4.02. No wastewaters in any of the following categories shall be discharged from any Improved Property into the Sewer System without the prior approval of the Township

- A. Industrial Wastes having a BOD greater than three hundred (300) mg/1;
- B. Industrial Wastes having a content of Suspended Solids greater than three hundred and fifty (350) mg/1;
- C. Industrial Wastes having COD greater than six hundred (600) mg/1;
- D. Industrial Wastes Slugs having an average daily flow greater than five percent (5) of the average daily waste flow at the sewage treatment plant receiving wastes from the Sewer System;
- E. Any sewage, Industrial Wastes, or other matter or substance:
 1. having a temperature higher than 150°F or less than 32°F;
 2. containing more than 100 mg/1 of fat, oil or grease;
 3. containing any gasoline, benzine, naptha, fuel oil, paint products, acid, or other inflammable or explosive liquids, solids, or gasses;
 4. containing unground garbage;
 5. containing any ashes, cinders, sand, mud, straw, shaving, metals, glass, rags, feathers, tar, plastics, wood, whole blood, paunch manure, bentonite, lye, building materials, rubber, hair, bones, leather, porcelain, china, ceramic wastes, or other solid or viscous substances capable of causing obstruction or other interference with the operation of the Sewer System or the sewage treatment plant receiving wastes from the Sewer System;
 6. having a pH, stabilized, lower than 5.5 or higher than 9.5 or having any other corrosive property capable of causing damage or hazard to structures, equipment, bacterial action or personnel;
 7. containing a toxic or poisonous substance in sufficient quantity to injure or interfere with any sewage treatment process, to constitute a hazard to humans or animals or to create any hazard in the receiving waters sewer system;

8. containing total solids greater than 850 mg/1 or of such character and quantity that unusual attention or expense is required to handle such materials in the operation of the Sewer System or the sewage treatment plant receiving wastes from the Sewer System;
9. containing noxious or malodorous gas or a substance which creates a public nuisance;
10. containing dye from any source that will not have an effluent the equivalent of that produced by alum coagulation and chlorination to remove suspended or colloidal matter and bleach the dissolved dyes;
11. containing radio-active substances and/or isotopes;
12. containing wastes which are not amenable to biological treatment or reduction in existing treatment facilities, specifically non-biodegradable complex carbon compounds.
13. containing concentrations of anions, cations, and other various objectionable substances that would result in the City of Easton, even when using normal treatment plant operation practices, discharging such substances in amounts in excess of those amounts permitted to be discharged by the City of Easton's National Pollution Discharge Elimination System (N.P.D.E.S.) Permit.

SECTION 4.03. The Township reserves the right, in its sole discretion, to require Non-Domestic Establishments having large variations in rates of wastewater discharge to install suitable regulating devices for equalizing wastewater flows to the Sewer System.

SECTION 4.04. When directed by the Township, Owners of Industrial Establishments shall install, pay for, and maintain a manhole and such other devices as may be approved by the Township to facilitate observation, measurement, and sampling of wastewaters discharged to the Sewer System. The Township or its duly authorized representative, at all reasonable times, shall be permitted to enter upon any and all properties for the purpose of inspecting, observing, measuring, and sampling wastewaters discharged to the Sewer System.

SECTION 4.05.

- A. Owners of Industrial Establishments desiring to discharge Industrial Wastes to the Sewer System shall obtain a permit from the Township to do so. Applications for a permit to discharge Industrial Wastes shall be accompanied by all information requested by the Township for the determination of Industrial Wastes volumes, characteristics, and constituents. The cost for obtaining such information shall be borne by the Owner of the Industrial Establishment.

- B. The Owner of any Industrial Establishment which is connected to the Sewer System who plans to change operations so as to materially alter the characteristics and volumes of wastewaters discharged to the Sewer System shall notify the Township in writing at least sixty (60) days before making such connections or changing its operations.

SECTION 4.06. When directed by the Township, grease, oil, and sand interceptors or traps shall be provided where, in the opinion of the Township, they are necessary for the proper handling of liquid wastes containing grease in excessive amounts, of any flammable wastes, sand and other harmful ingredients. All interceptors shall be of a type and capacity acceptable to the Township, and shall be located as to be readily and easily accessible for cleaning and inspection.

SECTION 4.07. No person shall discharge or cause to be discharged to any Sewer, any stormwater, surface water, groundwater, roof runoff, subsurface drainage, uncontaminated cooling water, or unpolluted industrial process water.

SECTION 4.08. No person shall discharge or cause to be discharged to any sewer, sanitary sewage or industrial waste from any commercial, or industrial garbage grinder.

SECTION 4.09. The Township reserves the right to adopt, from time to time, such additional rules and regulations as it shall deem necessary and proper in connection with use and operation of the Sewer System, which rules and regulations, shall become and shall be construed as part of this Ordinance.

SECTION 4.10. Nothing contained in this Article shall be construed as prohibiting any special agreement or arrangement between the Township and any Person whereby Industrial Wastes of unusual strength or character may be admitted into the Sewer System.

ARTICLE V - DRAINAGE OF SWIMMING POOLS

SECTION 5.01. Drain lines from all swimming pools shall be connected to the storm sewer system where available. A pool drain shall not be connected to the Sewer System, unless such connection is required specifically by the Pennsylvania Department of Environmental Resources. If such a connection is so required, the Township reserves the right to make such connection subject to reasonable conditions and additional sewer rental charges.

ARTICLE VI - MEASUREMENTS, TESTS AND ANALYSES

SECTION 6.01. All measurements, tests, and analyses of the characteristics of waters and wastes to which reference is made in this Ordinance shall be determined in accordance with the latest edition of "Standard Methods for Examination of Water and Wastewater", published by the American Public Health Association.

SECTION 6.02. All samples shall be 24-hour composite wastewater samples, that is, twenty-four (24) hourly wastewater samples collected over a twenty-four (24) hour period with the sample volume proportioned according to the flow rate at the time of the sample. The cumulative sample shall be refrigerated. Exceptions to the 24-hour composite sampling procedure may be made at the sole discretion of the Township.

SECTION 6.03. The frequency of sampling, measuring, and testing shall be as directed by the Township. All expenses of this activity shall be borne by the Owner, and all data obtained shall be sent to the Township, as requested, or shall be obtained directly by the Township at the Township's discretion.

SECTION 6.04. The Owner of any Improved Property connected to the Sewer System shall provide the Township and its representatives and agents the opportunity of access at any time to any part thereof, as shall be required for purposes of inspection, measurement, sampling and testing and for performance of other functions relating to service rendered by the Township related to the Sewer System.

ARTICLE VII - RULES AND REGULATIONS
FOR CONNECTIONS TO THE SEWER SYSTEM

SECTION 7.01. No person shall uncover, connect with, make any opening into or use, alter or disturb, in any manner, any Sewer or the Sewer System without first making application for and securing a permit, in writing, from the Township.

SECTION 7.02. Application for a permit shall be made by the Owner of the Improved Property to be served or his duly authorized agent.

SECTION 7.03. No person shall make or cause to be made a connection of any Improved Property with a Sewer until such Person shall have fulfilled each of the following conditions:

- A. Such person shall have notified the Township of the desire and intention to connect such Improved Property to a Sewer.
- B. Such person shall have made application for and obtained a permit from the Township.
- C. Such person shall have given the Township at least 24 hours' notice of the time when such connection will be made so that the Township may inspect the work of connection and necessary testing.
- D. Such person shall have paid to the Township any fee charged and imposed by the Township, as required under Article VIII of these Rules and Regulations.

SECTION 7.04. Each Improved Property shall be connected separately and independently with a Sewer through a Building Sewer. Grouping of more than one Improved Property on one Building Sewer shall not be permitted, except under special circumstances and for good sanitary reasons or other good cause shown, and then only after special permission of the Township, in writing, shall have been secured and subject to such rules, regulations and conditions as may be prescribed by the Township.

SECTION 7.05. All costs and expenses of construction of a Building Sewer and all costs and expenses of connection of a Building Sewer to a Sewer shall be borne by the Owner of the Improved Property to be connected; and such Owner shall indemnify and save harmless the Township, from all loss or damage that may be occasioned, directly or indirectly, as a result of construction of a Building Sewer or of connection of a Building Sewer to a Sewer.

SECTION 7.06. A Building Sewer shall be connected to a Sewer at the place designated by the Township and where, if applicable, the Lateral is provided.

The invert of a Building Sewer at the point of a gravity connection shall be at the same or a higher elevation than the invert of the Sewer. Where any building drainage system is too low to permit gravity flow to the Sewer Lateral, the sewage discharge from such building drainage system shall be lifted by an approved means and discharged through the building sewer.

SECTION 7.07. Every Building Sewer of an Improved Property shall be maintained in a Sanitary and safe operating condition by the Owner of such Improved Property.

SECTION 7.08. Every excavation for a Building Sewer shall be guarded adequately with barricades and lights to protect all Persons from damage and injury. Streets, sidewalks and other public property disturbed in the course of installation of a Building Sewer shall be restored, at the cost and expense of the Owner of the Improved Property being connected, in a manner satisfactory to this Township.

SECTION 7.09. If any Person shall fail or refuse, upon receipt of a notice of the Township, in writing, to remedy any unsatisfactory condition with respect to a Building Sewer, within sixty (60) days of receipt of such notice, the Township may refuse to permit such Person to discharge Sanitary Sewage and Industrial Wastes into the Sewer System until such unsatisfactory condition shall have been remedied to the satisfaction of the Township.

SECTION 7.10. Where an Improved Property, at the time connection to a Sewer is required, shall be served by its own sewage disposal system or device, the existing house sewer line shall be broken on the structure side of such sewage disposal system or device and attachment shall be made, with proper fittings, to continue such house sewer line, as a Building Sewer.

SECTION 7.11. No Building Sewer shall be covered until it has been inspected and approved by the Township. If any part of a Building Sewer is covered before so being inspected and approved, it shall be uncovered for inspection at the cost and expense of the Owner of the Improved Property to be connected to a Sewer.

SECTION 7.12. Persons performing work on the Sewer System or installing Building Sewers for a property owner other than himself shall be subject to Registration as follows:

Persons desiring Registration to perform work on the Sewer System or install Building Sewers in the Township System must apply to the Plumbing Inspector, present their qualifications, past experience, record their place of business and any other required information. Upon approval, their names shall be inscribed on a Registry List. No registration fee will be charged by the Township nor will the Township issue any licenses or certificates. The person will be required to provide at least two municipal references which references can verify the adequacy of sewer pipe installation work he performed in other municipalities and provide verification that he carries Workingman's Compensation Insurance, and Contractor's Liability Insurance. At least one municipal reference shall be a current Master's License or current Plumber's Certification from a First Class Township or Third Class City or Second Class City or First Class City.

Evidence of failure to comply with these Rules and Regulations, by any Registrant, will be sufficient cause to have that registrant removed from the Registry list which will automatically exclude him from doing any work in the Township on the Sewer System. The decision acceptance on the list or removal from the list shall be made by the "Plumbing Inspector."

SECTION 7.13. The "Plumbing Inspector" shall have the right of access at reasonable times to any part of any Improved Property served by the Sewer System as shall be required for purposes of inspection, measurement, sampling and testing and for performance of other functions relating to service rendered by the Township through the Sewer System.

SECTION 7.14. Building Sewers and Laterals shall be subject at all times to the inspection and approval of the Plumbing Inspector and Gravity Building Sewers and Laterals shall be installed in accordance with all these regulations, including:

- A. Size - Building Sewers shall in no case be less than four (4) inches in diameter. Where a flow rate of greater than anticipated from a single domestic establishment is to be permitted to be received from a single building sewer then the building sewer shall be at least six (6") inches in diameter. An approved adapter connecting the Building Sewer to the Lateral Sewer must be used. The lateral sewer may end in a bell or may end in a spigot, and the plumber shall provide the appropriate adaptor connection in either case so as to form a watertight permanent connection. Manufacturer's compatible O-ring connectors are acceptable for this connection.
- B. Material - Pipe used for Building Sewers shall conform to one of the following:
 1. Service Weight Cast Iron Pipe. This pipe shall be HS-67 service weight or heavier bell and spigot pipe with an internally locked compression gasket push-on joint. Fitting weights and joints shall conform to the same requirements as the pipe.
 2. PVC Plastic Pipe. Schedule 40 solid wall PVC pipe or heavier with an integral bell, gasketed joint or with solvent welded joints. Fittings schedule and joints shall conform to the same requirements as the pipe. Any solution cements used shall conform to the ASTM standards for the material being used. PVC pipe and fittings meeting the requirements of ASTM Code Section D3034, SDR35 (extra strength) are also acceptable for building sewer material.
 3. Adaptors. Proper adaptors shall be used when joining dissimilar materials.
- C. Building Sewers shall be laid on a grade of not less than one-quarter of an inch per foot. Additionally, building sewers in general shall be at least thirty (30") inches below grade from the ground level to the top of pipe. If the building sewer must be more shallow than that because of particular grading problems and slope problems, the plumber shall provide insulation over the bedding material to the satisfaction of the plumbing inspector.
- D. Building Sewers must be as direct as possible. The following fittings shall be used where a change in direction of the Building Sewer is required:

Changes in direction are to be made with "Y's" and 1/8 bends with a clean-out to ground level with such clean-out up gradient from the "Y" on the projection of the down gradient leg of the "Y".
- E. Ditches shall be promptly backfilled after inspection and approval by the Plumbing Inspector. Care shall be taken to prevent damage to the pipe in backfilling and to secure a well compacted and firm trench.

F. The Building Sewers shall be vented, trapped, and provided with clean outs in accordance with the following specifications, and the attached Exhibit "A" to this Ordinance.

1. Vents - A vent shall be placed along the building sewer, on the house side of the trap, no more than ten (10') feet from the building or structure. The vent riser shall be a minimum of four (4") inches in diameter, and shall be ended with a returned bend and protected with an insect screening or perforated cap.
2. Trap - A standard building trap shall be provided immediately after the vent. The trap size shall be the full size of the Building Sewer.
3. Clean-outs - Clean-outs shall be provided at the building trap in accordance with Exhibit "A", and a clean-out shall be placed immediately downstream from the building trap and at the connection to the public sewer lateral. The clean-out shall consist of a line size "Y" branch with a riser of not less than four (4) inches extending to the surface where it is to be provided with a ferrule and plug for cleaning purposes. In addition, clean outs will be required every fifty (50) feet along the Building Sewer.

G. Bedding of Building Sewer -

1. The building sewer pipe shall be bedded in first class bedding material consisting of limestone, crushed aggregate meeting the PennDOT grading and quality specifications for Type 2RC modified stone or Type IB stone (also known as AASHTO #8, 1/2" diameter maximum size), Type C. Except in areas of high tables as identified by the plumber, in which case the building sewer shall be bedded in good quality, suitable earth backfill, free of stones, rocks, organic material, frozen material, topsoil or other unsuitable bedding material.
2. This bedding shall consist of at least four (4) inches of bedding material below the lateral, and at least six (6) inches of bedding material on each side of the lateral and on top of the lateral.
3. For cast iron laterals 100% good quality, suitable earth bedding and initial backfill may be used if it is free of stones, rocks, organic material, frozen material, topsoil or other poor quality fill.

H. Backfill Above Bedding Material of Building Sewers - All backfill material above the bedding material shall be free of tree stumps, roots, large stones over six (6) inches in dimension, and any other material which may be injurious to the building sewer.

I. Testing - Either of the following tests may be selected by the installer.

1. Air Test - The system shall be tested to ensure it will hold a uniform gauge pressure of three and one half pounds per square inch (PSI) without introduction of additional air for a period of at least three minutes.
 2. Water Test - The system shall be filled with water under a head of not less than ten (10) feet. The water level at the top of the test head shall not drop for at least fifteen (15) minutes.
 3. Tests - the plumber shall provide the appropriate test tees if necessary and temporary plugs and all equipment necessary to conduct the test in the presence of the plumbing inspector. The plumber shall also conduct the test under the observation and inspection of the plumbing inspector.
- J. Inspection - The following inspections are required on the installations of all building sewers:
1. Pipe installed and bedded but not covered.
 2. Air or Water Test after the stone covering is applied but before backfilling.
 3. Where it is necessary to connect to the Sanitary Sewer Main, inspection of the lateral connection to the main.
- K. Sewer Lateral Construction and Construction of Connections to Sewer Mains shall be subject to all the same specifications as required for Building Sewers except for the following additional requirements;
1. Materials - The following materials are approved for use in sewer laterals:
 - a. Cast iron as authorized for the building sewer, but of a minimum inside diameter of six (6) inches such cast iron shall be - heavy duty.
 - b. PVC pipe and fittings meeting the ASTM criteria of D3034, SDR35 (extra strength), compression gasket, bell and spigot type pipe of a minimum diameter of six (6") inches.

- c. Six (6) inches or larger inside diameter extra strength vitrified clay pipe. Joints and connections shall be:
 - 1) Approximately 25% of the joint space at the base of the socket shall be filled with jute or hemp. A pouring collar, rope, or other device shall be used to be water absorbent and shall have a bond of not less than 100 pounds per square inch in shear. The compound shall not soften and destroy effectiveness of the joint when subject to temperatures of 160 degrees F. Pour shall fill the joint in one operation. All surfaces of the joint shall be cleaned and dried before pouring. Joint shall not be tested until one hour after pouring.
 - 2) Flexible joints between lengths of clay pipe shall be made using approved resilient materials both on the spigot and in the bell end of the pipe.
 - 3) Every joint between cast iron piping and vitrified clay piping shall be made either of hot poured bitumastic compound or by a pre-formed elastomeric ring. This ring shall, after ramming, completely fill the annular space between the cast iron spigot and the vitrified clay pipe.

- d. Connections to the Sewer Main -
 - 1) The use of saddle connections is only permitted where there is no existing lateral installed.
 - 2) Materials used shall be compatible with existing pipe and subject to prior approval of the inspector.

- e. Backfilling of Laterals and Connections to Sewer Mains -
Backfill of laterals and connections to Sewer Main shall be placed in eight (8) inch to ten (10) inch lifts, tamped in place and PennDOT 2A Type C or similar crushed stone coarse aggregate shall be used.

- f. The final surface replacement of materials over the Lateral or Connection to Sewer Main shall be provided in accordance with conditions of the surface prior to excavation or to the Requirements of the Excavation or Road Encroachment Permit whichever is applicable.

- g. If a road encroachment is being made as part of the construction of the Lateral or Connection to Sewer Main, then inspections are required during surface restoration.

ARTICLE VIII - RULES AND REGULATIONS FOR EXTENDING
THE SEWER SYSTEM

SECTION 8.01 Any Owner, Equitable Owner, or Subdivider or Developer who is subdividing or developing land may extend or may request the Township to extend Sanitary Sewer Collection System Lines or interceptor lines to serve his Property, Development or Subdivision, if such extension of services conforms to the requirements of this Ordinance and other township ordinances and if;

- A. The Township Official Sewer Plan (ACT 537) includes this proposed extension, service area and development in its plan as a Future Service area for the Township's System.
- B. The Township has set aside or reserved capacity for the property to be served by the extension. (It is stated here that setting aside capacity or reserving capacity for a property does not guarantee any approvals of specific plans by the Township or the Township Zoning Officer).
- C. The Township has a permit for the extension from the Department of Environmental Resources if such permit is required by DER.
- D. The Township has prepared or approved the Design Specifications and Plans for the extension and has found them to conform to the Township's own construction Standards and Specifications.
- E. The Person requesting the extension has either agreed to pay all costs of the Township in making the extension or has agreed to install the extension under Township's inspection and has agreed to reimburse the Township for costs associated with Plan Review, Permit Submission and Construction Inspections.
- F. The Person requesting the extension has agreed to a date of Project Completion and has posted Security with the Township sufficient to guarantee payment of costs and proper installation in a timely manner.
- G. The Person requesting the extension has agreed to be responsible for the maintenance of the proposed extension for 18 months after its installation and has posted security with the Township sufficient to guarantee the estimated cost of such maintenance.
- H. The Person requesting the extension has agreed to provide dedication or dedicate the entire extension along with any required easements to the Township and to pay for or provide the Township with five (5) copies of "As Built" Plans prepared and sealed by a Registered Engineer showing the size, location and depth of all Lines and Laterals, all at no cost to the Township.
- I. The Person requesting the extension has entered into an Improvement Agreement and Maintenance Agreement with the Township covering, at a minimum, all the requirements of these regulations.

ARTICLE IX - ADDITIONAL PROVISIONS OF THIS ORDINANCE

SECTION 9.01. This Ordinance shall become effective five (5) days from the date of adoption.

SECTION 9.02. Any sewer rentals or charge deemed delinquent, pursuant to this Ordinance, shall be cause for termination of service and shall be collected in any manner permitted by law.

SECTION 9.03. The Township reserves the right to amend this Ordinance, from time to time, as it shall deem necessary and proper in connection with the use and operation of the Sewer System.

SECTION 9.04. In the event any provision, section, sentence, clause or part of this Ordinance shall be held to be invalid, such invalidity shall not affect or impair any remaining provision, section, sentence, clause or part of this Ordinance, it being the intent of this Township that such remainder shall be and shall remain in full force and effect.

SECTION 9.05 Any Person who shall violate this Ordinance shall be liable, upon summary conviction for a first offence and upon summary conviction for each subsequent offence, to a fine of not less than twenty-five dollars (\$25) nor more than three hundred dollars (\$300), together with costs of prosecution in each case. Each day that a violation shall continue shall be deemed and shall be taken to be a separate offense and shall be punishable as such.

SECTION 9.06 Fines and costs imposed under provisions of this Ordinance shall be enforceable and recoverable in the manner at the time provided by applicable law.

SECTION 9.07 It is declared that enactment of this Ordinance is necessary for the protection, benefit and preservation of the health, safety and welfare of inhabitants of this Township.

SECTION 9.08 All ordinances or parts of ordinances and all resolutions or parts of resolutions which are inconsistent with this Ordinance shall be and the same expressly are repealed.

DULY ENACTED AND ORDAINED, Ordinance 92- , this 10th day
of September, 1992, by the Board of Supervisors of the Township of
Williams, Northampton County, Pennsylvania, in lawful session duly assembled.

TOWNSHIP OF WILLIAMS

Northampton County, Pennsylvania

By: Jess Murray
Chairman

ATTEST:

Arthur L. Cleb
Secretary

(SEAL)

TOWNSHIP OF WILLIAMS
NORTHAMPTON COUNTY, PENNSYLVANIA

ORDINANCE 92- 9 - SHORT TITLE -
SEWER CONNECTION FEE, CUSTOMER FACILITY FEE AND TAPPING FEE ORDINANCE

AN ORDINANCE

OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WILLIAMS, NORTHAMPTON COUNTY, PENNSYLVANIA, REQUIRING ALL OWNERS OF IMPROVED PROPERTY LOCATED WITHIN THIS TOWNSHIP AND ADJOINING AND ADJACENT TO AND WHOSE PRINCIPAL BUILDING IS WITHIN 150 FEET FROM THE SEWER SYSTEM OWNED BY WILLIAMS TOWNSHIP OR AN AUTHORITY OF WILLIAMS TOWNSHIP TO CONNECT SUCH IMPROVED PROPERTY WITH AND TO USE SUCH SEWER SYSTEM; REGULATING THE MANNER OF MAKING SUCH CONNECTIONS; AUTHORIZING THIS TOWNSHIP TO MAKE CONNECTIONS AT THE COST AND EXPENSE OF ANY OWNER OF IMPROVED PROPERTY FAILING TO MAKE SUCH CONNECTION; ADOPTING CERTAIN RULES AND REGULATIONS AND PROVIDING FOR ADOPTION OF ADDITIONAL RULES AND REGULATIONS; PROHIBITING THE CONNECTION OF PRIVY VAULTS, CESSPOOLS, SINKHOLES, SEPTIC TANKS AND SIMILAR RECEPTACLES TO ANY SEWER; PROHIBITING THE MAINTENANCE OF CERTAIN RECEPTACLES AND REQUIRING ABANDONMENT THEREOF WHERE A SEWER IS AVAILABLE; ESTABLISHING A SEWER CONNECTION FEE, A CUSTOMER FACILITY FEE AND A TAPPING FEE AGAINST THE OWNER OF EACH PROPERTY WHO CONNECTS SUCH PROPERTY WITH THE SEWER SYSTEM OWNED BY THIS TOWNSHIP OR AN AUTHORITY OF THIS TOWNSHIP; PROVIDING THE MANNER OF PAYMENT OF SUCH FEES; AND PROVIDING FOR ENFORCEMENT OF PAYMENT OF SUCH FEES. SETTING FORTH RELATED MATTERS; AND PRESCRIBING PENALTIES FOR VIOLATIONS.

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WILLIAMS, NORTHAMPTON COUNTY, PENNSYLVANIA HEREBY, ENACTS AND ORDAINS THE FOLLOWING:

ARTICLE I
DEFINITIONS

SECTION 1.01. Unless the context specifically and clearly indicates otherwise, the meaning of terms and phrases used in this Ordinance shall be as follows:

- A. "Authority" shall mean the Williams Authority (if any is created), a municipal authority, incorporated pursuant to provisions of the Municipality Authorities Act of 1945, approved May 2, 1945, P.L. 382, as amended and supplemented, of the Commonwealth;
- B. "Building Sewer" shall mean the extension from the sewage drainage system of any structure to the Lateral of a Sewer;
- C. "Commonwealth" shall mean the Commonwealth of Pennsylvania;
- D. "Improved Property" shall mean any property within this Township upon which there is erected a structure intended for continuous or periodic habitation, occupancy or use by human beings or animals and from which structure Sanitary Sewage and/or Industrial Wastes is or may be discharged;
- E. "Industrial Establishment" shall mean any Improved Property located within this Township and used or intended for use, wholly or in part, for the manufacturing, processing, cleaning, laundering or assembling of any product, commodity or article, or any other Improved Property located in this Township from which wastes, in addition to or other than Sanitary Sewage, shall be discharged;
- F. "Industrial Wastes" shall mean any and all wastes discharged from any Industrial Establishment, other than Sanitary Sewage;
- G. "Lateral" shall mean that part of the Sewer System extending from a Sewer to the curb line or, if there shall be no curb line, to the property line or, if no such Lateral shall be provided, then "Lateral" shall mean that portion of, or place in, a Sewer which is provided for connection of any Building Sewer;
- H. "Owner" shall mean any Person vested with ownership, legal or equitable, sole or partial, of any Improved Property;
- I. "Person" shall mean any individual, partnership, company, association, society, trust, corporation, municipality, municipal authority or other group or entity;
- J. "Sanitary Sewage" shall mean normal water-carried household and toilet wastes from any Improved Property;
- K. "Sewer" shall mean any pipe or conduit constituting a part of the Sewer System used or usable for sewage collection purposes;
- L. "Sewer System" shall mean all facilities, as of any particular time, for collecting, pumping, transmitting, treating and disposing of Sanitary Sewage and/or Industrial Wastes, situate in or adjacent to this Township, and owned by the Township (or its Authority);

- M. "Street" shall mean and shall include any street, road, lane, court, cul-de-sac, alley, public way or public square; and
- N. "Township" shall mean the Township of Williams, Northampton County, Pennsylvania, a township of the Second Class of the Commonwealth of Pennsylvania, acting by and through its Board of Supervisors or, in appropriate cases, acting by and through its authorized representatives.

ARTICLE II
USE OF PUBLIC SEWERS REQUIRED

SECTION 2.01. The Owner of any Improved Property adjoining and adjacent to and whose principal building is within 150 feet from the Sewer System shall connect such Improved Property with and shall use such Sewer System, in such manner as this Township may require, within 60 days after notice to such Owner from this Township to make such connection (or within an approved extension), for the purpose of discharge of all Sanitary Sewage and Industrial Wastes from such Improved Property; Subject, however, to such limitations and restrictions as shall be established herein or otherwise shall be established by this Township, from time to time.

SECTION 2.02. All Sanitary Sewage and Industrial Wastes from any Improved Property, after connection of such Improved Property with a Sewer shall be required under Section 2.01, shall be conducted into a Sewer; Subject, however, to such limitations and restrictions as shall be established herein or otherwise shall be established by this Township, from time to time.

SECTION 2.03. No Person shall place, shall deposit or shall permit to be placed or to be deposited upon public or private property within this Township any Sanitary Sewage or Industrial Wastes in violation of Section 2.01.

No Person shall discharge or shall permit to be discharged to any natural outlet within this Township any Sanitary Sewage or Industrial Wastes in violation of Section 2.01, except where suitable treatment has been provided which is satisfactory to this Township.

SECTION 2.04. No privy vault, cesspool, sinkhole, septic tank or similar receptacle shall be used or shall be maintained at any time upon any Improved Property which has been connected to a Sewer or which shall be required under Section 2.01 to be connected to a Sewer.

Every such privy vault, cesspool, sinkhole, septic tank or similar receptacle in existence shall be abandoned, and at the discretion of this Township, shall be cleansed and shall be filled, at the expense of the Owner of such Improved Property, with the inspection of this Township; and any such privy vault, cesspool, sinkhole, septic tank or similar receptacle not so abandoned, and if required by this Township, not cleansed and filled, shall constitute a nuisance, and such nuisance may be abated, as provided by law, at the expense of the Owner of such Improved Property.

The fill for each such privy vault, cesspool, sinkhole, septic tank, or similar receptacle shall constitute clean earth, stone, rocks, sand or concrete at the option of the property owner.

If a property owner wishes to utilize a cesspool or a septic tank and drainfield system for the disposal of either ground water or rain water, the property owner may utilize these facilities for this purpose upon satisfying the following criteria:

- (a) The septic tank or cesspool shall be pumped empty by an approved septic tank pumping contractor;
- (b) The septic tank or cesspool shall be filled with clean large limestone aggregate of 3" or larger in size.

SECTION 2.05. No privy vault, cesspool, sinkhole, septic tank or similar receptacle at any time shall be connected with a Sewer.

SECTION 2.06. The notice by this Township to make a connection to a Sewer, referred to in Section 2.01, shall consist of a copy of this Ordinance, including any amendments and/or supplements at the time in effect, or a summary of each Section hereof, and a written or printed document requiring the connection in accordance with the provisions of this Ordinance and specifying that such connection shall be made within 60 days after the date such notice is given or served. Such notice may be given or served at any time after a Sewer is in place which can receive and can convey Sanitary Sewage and Industrial Wastes for treatment and disposal from the particular Improved Property. Such notice shall be given or served upon the Owner in accordance with law. If for some reason the Owner cannot make the connection within this sixty (60) day period, the Township at its sole discretion may grant, case by case, extensions of time for a sixty (60) day period, if the following conditions are met;

- A. The Owner requesting such extension in writing - citing the reasons for the request,
- B. The Owner paying all connection fees, customer facility fees and/or tapping fees and/or assessments,
- C. The Township making a finding that the reasons cited by the Owner are sufficient to justify the extension of time.

ARTICLE III
BUILDING SEWERS AND CONNECTIONS

SECTION 3.01. No Person shall uncover, shall connect with, shall make any opening into or shall use, shall alter or shall disturb, in any manner, any Sewer or any part of the Sewer System without first obtaining a permit, in writing, from this Township.

SECTION 3.02. Application for a permit required under Section 3.01 shall be made by the Owner of the Improved Property served or to be served or by the duly authorized agent of such Owner.

SECTION 3.03. No Person shall make or shall cause to be made a connection of any Improved Property with a Sewer until such Person shall have fulfilled each of the following conditions:

- A. Such Person shall have notified the Township of the desire and intention to connect such Improved Property to a Sewer;
- B. Such Person shall have applied for and shall have obtained a permit as required by Section 3.01;
- C. Such Person shall have given the Township at least 24 hours' notice of the time when such connection will be made so that this Township may inspect or may cause to be inspected the work of connection and necessary testing; and
- D. If applicable, such Person shall have furnished satisfactory evidence to the Township that any connection fee, customer facility fee and tapping fee which may be charged and imposed by the Township or the Authority against the Owner of each Improved Property who connects such Improved Property to a Sewer has been paid.

SECTION 3.04. Except as otherwise provided in this Section 3.04, each Improved Property shall be connected separately and independently with a Sewer through a Building Sewer. Grouping of more than one Improved Property on one Building Sewer shall not be permitted, except under special circumstances and for good sanitary reasons or other good cause shown, but then only after special permission of this Township, in writing, shall have been secured and only subject to such rules, regulations and conditions as may be prescribed by this Township or the Authority, as applicable.

SECTION 3.05. All costs and expenses of construction of a Building Sewer and all costs and expenses of connection of a Building Sewer to a Sewer shall be borne by the Owner of the Improved Property to be connected; and such owner shall indemnify and shall save harmless this Township and the Authority from all loss or damage that may be occasioned, directly or indirectly, as a result of construction of a Building Sewer or of connection of a Building Sewer to a Sewer.

SECTION 3.06. A Building Sewer shall be connected to a Sewer at the place designated by this Township or by the Authority and where, if applicable, the Lateral is provided.

SECTION 3.07. If the Owner of any Improved Property located within this Township and adjoining and adjacent to and whose principal building is within 150 feet from the Sewer System, after 60 days' notice from this Township and any extension approved, in accordance with Section 201, shall fail to connect such Improved Property, as required, this Township may enter upon such Improved Property and construct such connection and may collect from such Owner the costs and expenses thereof in the manner permitted by Law.

ARTICLE IV
RULES AND REGULATIONS GOVERNING
BUILDING SEWERS AND CONNECTIONS TO SEWERS

SECTION 4.01. Where an Improved Property, at the time connection to a Sewer is required, shall be served by its own sewage disposal system or sewage disposal device, the existing sewer line shall be broken on the structure side of such sewage disposal system or sewage disposal device and attachment shall be made, with proper fittings, to continue such sewer line as a Building Sewer.

SECTION 4.02. No Building Sewer shall be covered until it has been inspected and approved by this Township. If any part of a Building Sewer is covered before being inspected and approved, it shall be uncovered for inspection, at the cost and expense of the Owner of the Improved Property to be connected to a Sewer.

SECTION 4.03. Every Building Sewer of any Improved Property shall be maintained in a sanitary and safe operating condition by the Owner of such Improved Property.

SECTION 4.04. Every excavation for a Building Sewer shall be guarded adequately with barricades and lights to protect all Persons from damage and injury. Any street, sidewalk and other public property disturbed in the course of installation of a Building Sewer shall be restored, at the cost and expense of the Owner of the Improved Property being connected, in a manner satisfactory to this Township.

SECTION 4.05. If any Person shall fail or shall refuse, upon receipt of a notice of this Township or the Authority, in writing, to remedy any unsatisfactory condition with respect to a Building Sewer, within 60 days of receipt of such notice, this Township or the Authority may refuse to permit such Person to discharge Sanitary Sewage and Industrial Wastes into the Sewer System until such unsatisfactory condition shall have been remedied to the satisfaction of this Township or the Authority.

SECTION 4.06. This Township reserves the right to adopt, from time to time, additional rules and regulations as it shall deem necessary and proper relating to connections with a Sewer and with the Sewer System, which additional rules and regulations, to the extent appropriate, shall be and shall be construed as part of this Ordinance.

ARTICLE V
SEWER CONNECTION FEE, CUSTOMER FACILITY FEE AND TAPPING FEE

SECTION 5.01. Williams Township does hereby charge a Sewer Connection Fee, Customer Facility Fee and Tapping Fee as set forth herein, against the owner of any improved property whenever such owner hereafter shall connect any such improved property with the sewer system. Such Sewer Connection Fee, Customer Facility Fee and Tapping Fee are charged for the connection of each such improved property by the owner of such improved property.

SECTION 5.02. The Sewer Connection Fee, Customer Facility Fee and Tapping Fee shall be due and payable at the time application is made to the Township to make any such connection to the sewer system, or upon the date when the Township shall connection any such improved property to the sewer system, at the cost and expense of the owner when such owner shall have failed to make such connection as required by the Township pursuant to this Ordinance.

SECTION 5.03. All Sewer Connection Fees, Customer Facility Fees and/or Tapping Fees shall be payable to Williams Township, Northampton County.

SECTION 5.04. Payment of Sewer Connection Fees, Customer Facility Fees and Tapping Fees charged by the Township pursuant to this Ordinance, shall be enforced by this Township in any manner appropriate under law in effect at the time.

SECTION 5.06. Connection Fee - The Connection Fee for Williams Township is set forth as follows:

- A. Customer shall pay for all costs associated with the connection of the property sewer system from the property line to the Township sanitary sewer main, including all cost of highway or road encroachment permits, design, inspection, tapping, installation of lateral, testing, backfill, and street restoration and surface restoration.

The customer may either undertake this construction with their own contractor or may request the Township to hire a contractor to undertake this work. In any case, the contractor undertaking this work must be approved by the Township prior to construction proceeding.

Also, in either case the applicant must reimburse the Township for all cost incurred as part of the construction of this lateral and must place on deposit with the Township the estimated cost that may be incurred by the Township as related to the lateral as outlined below:

1. \$300.00 --- If the applicant is hiring his own contractor and if the Township is only obligated to provide design review and inspection of the lateral.
2. \$2,000.00 --- If the applicant is requesting that the Township undertake design, permitting, construction, inspection, backfill and restoration.

SECTION 5.07. Customer Facility Fee - Any customer of the Township shall be obligated to install all the sanitary sewer building sewers from the point of connection at the Township lateral to the house or other structure being served with sanitary service. This building sewer line shall be installed by the applicant or a plumber hired by the applicant, but the Township will provide inspection services. The fee for these inspection services shall be \$180.00.

This fee shall be sufficient to provide for inspection of a typical connection from the property line to the structure and will cover building sewer lines up to 150 feet in length. If a single connection to the public line will be connected to more than one structure or will be more than 150 feet in length, then the Township shall charge the customer the inspection fees that may exceed a Township cost of \$180.00.

SECTION 5.08. Tapping Fee - The Tapping Fee is a fee chargeable to a customer to allow the Township to recapture capital cost which may have been spent to provide for capacity for future customers or may be chargeable to help finance capacity increases or system extensions to serve applicable new customers.

This fee can also be established for "Reimbursement Components" for any reimbursement the Township is obligated to pay private property owners, developers, or contractors that have installed, at their cost, large public sanitary sewer mains that are capable of handling more capacity than needed by that individual property owner, developer, or contractor.

At this time, there is no Tapping Fee in Williams Township.

The Township reserves the right to adopt amendments to this Ordinance to allow the incorporation of a Tapping Fee if one is determined to be applicable under the provisions of Pennsylvania Act 203.

ARTICLE VI
ENFORCEMENT AND PENALTIES

SECTION 6.01 Any Person who shall violate this Ordinance shall be liable, upon summary conviction for a first offense and upon summary conviction for each subsequent offense, to a fine of not less than twenty-five dollars (\$25) nor more than three hundred dollars (\$300), together with costs of prosecution in each case. Each day that a violation shall continue shall be deemed and shall be taken to be a separate offense and shall be punishable as such.

SECTION 6.02 Fines and costs imposed under provisions of this Ordinance shall be enforceable and recoverable in the manner at the time provided by applicable law.

ARTICLE VII
EFFECTIVE DATE

SECTION 7.01 This Ordinance shall become effective five (5) days after adoption.

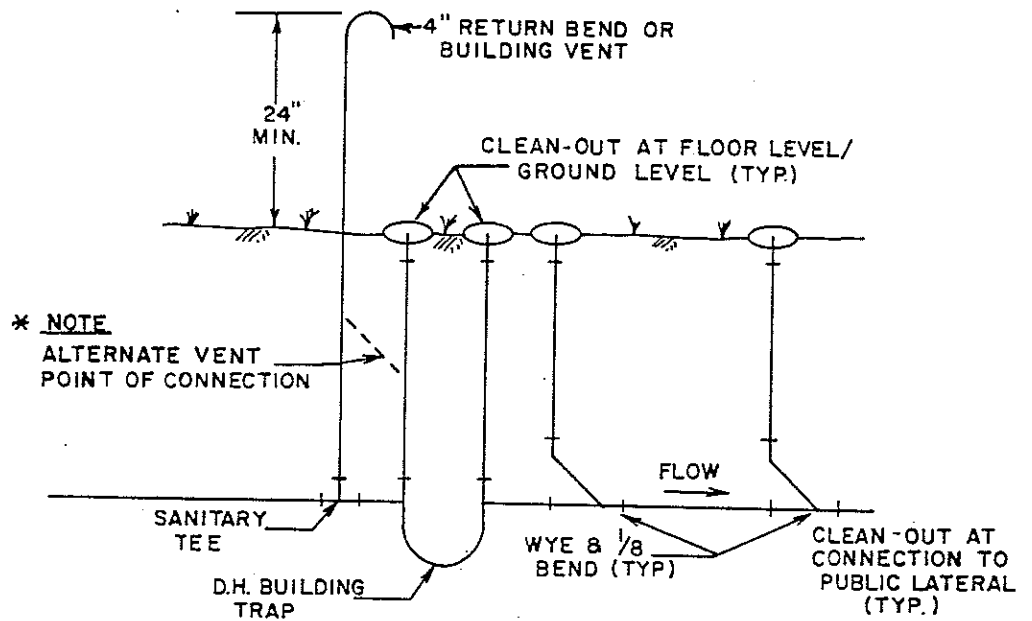
ARTICLE VIII
SEVERABILITY

SECTION 8.01 In the event any provision, section, sentence, clause or part of this Ordinance shall be held to be invalid, such invalidity shall not affect or impair any remaining provision, section, sentence, clause or part of this Ordinance, it being the intent of this Township that such remainder shall be and shall remain in full force and effect.

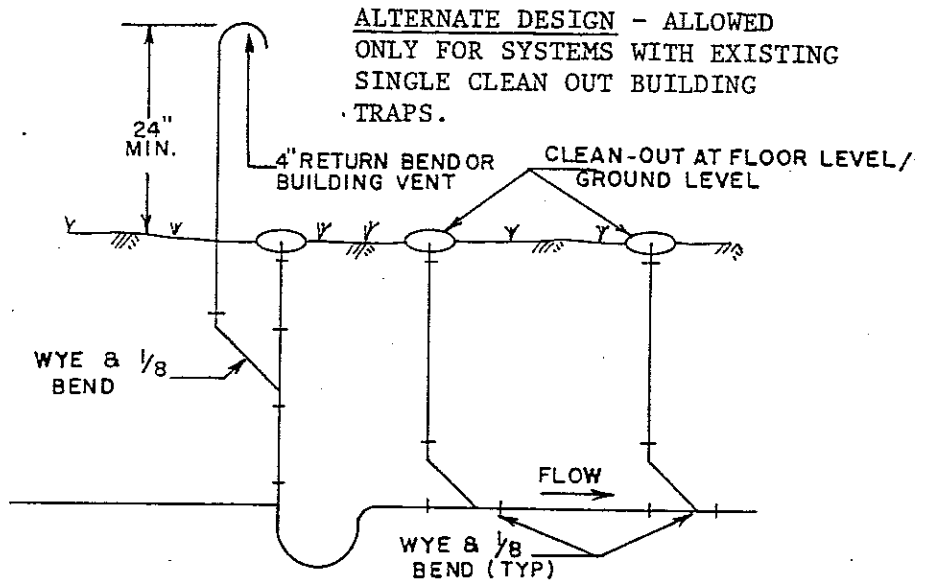
ARTICLE IX
DECLARATION OF PURPOSE

SECTION 9.01 It is declared that enactment of this Ordinance is necessary for the protection, benefit and preservation of the health, safety and welfare of inhabitants of this Township.

NEW SYSTEMS



EXISTING TRAP SYSTEM



ALTERNATE DESIGN - ALLOWED
ONLY FOR SYSTEMS WITH EXISTING
SINGLE CLEAN OUT BUILDING
TRAPS.

MODIFICATIONS ALLOWED TO EXISTING TRAPS

GENERAL NOTES

1. CLEAN OUTS AT CONNECTION TO PUBLIC SEWER LATERAL AND CLEAN OUTS EVERY 50 FT. AND METAL PLUGS FOR LOCATION FINDER ARE REQUIRED.

EXHIBIT A

PUBLIC SEWER
RATES, RULES & REGULATIONS ORDINANCE
SECTION 7.14F

STANDARD SCHEMATIC DRAWINGS
FOR BUILDING SEWER ARRANGEMENT

WILLIAMS TWP.

NORTHAMPTON COUNTY

ARTICLE X
REPEALER

SECTION 10.01 All ordinances or parts of ordinances and all resolutions or parts of resolutions which are inconsistent with this Ordinance shall be and the same expressly are repealed.

DULY ENACTED AND ORDAINED, Ordinance 92- , this 10th day of September, 1992, by the Board of Supervisors of the Township of Williams, Northampton County, Pennsylvania, in lawful session duly assembled.

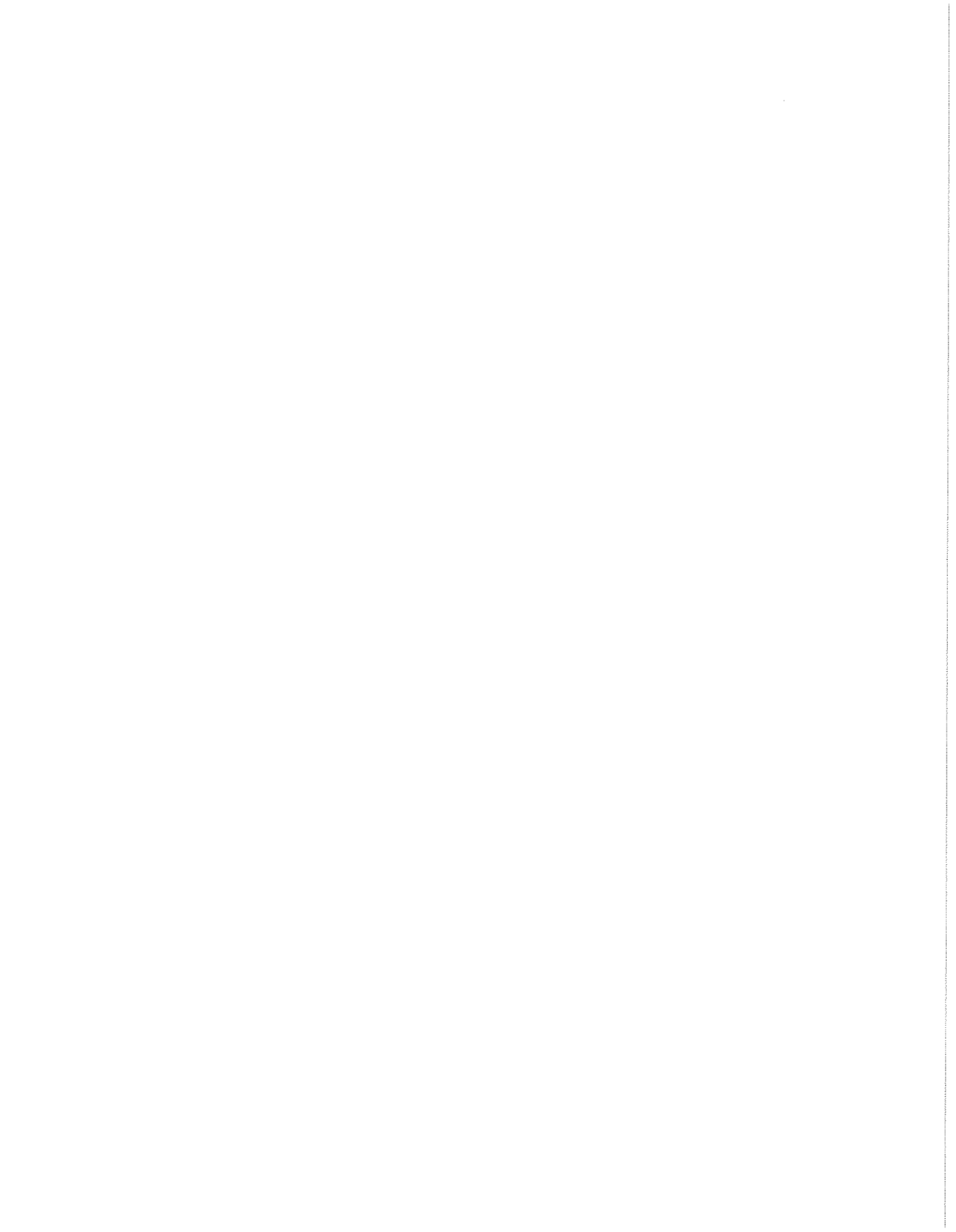
TOWNSHIP OF WILLIAMS
Northampton County, Pennsylvania

By: Jess Murray
Chairman

ATTEST:

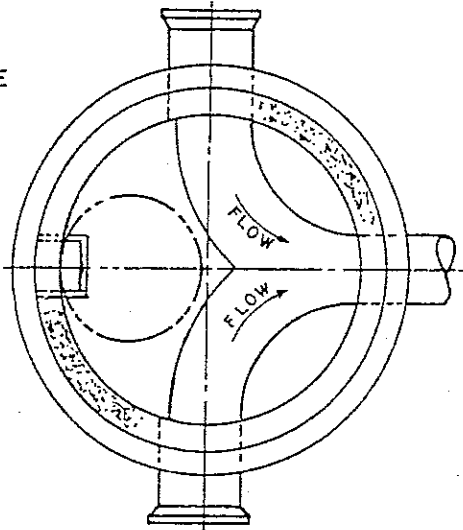
Robert L. Cook
Secretary

(SEAL)



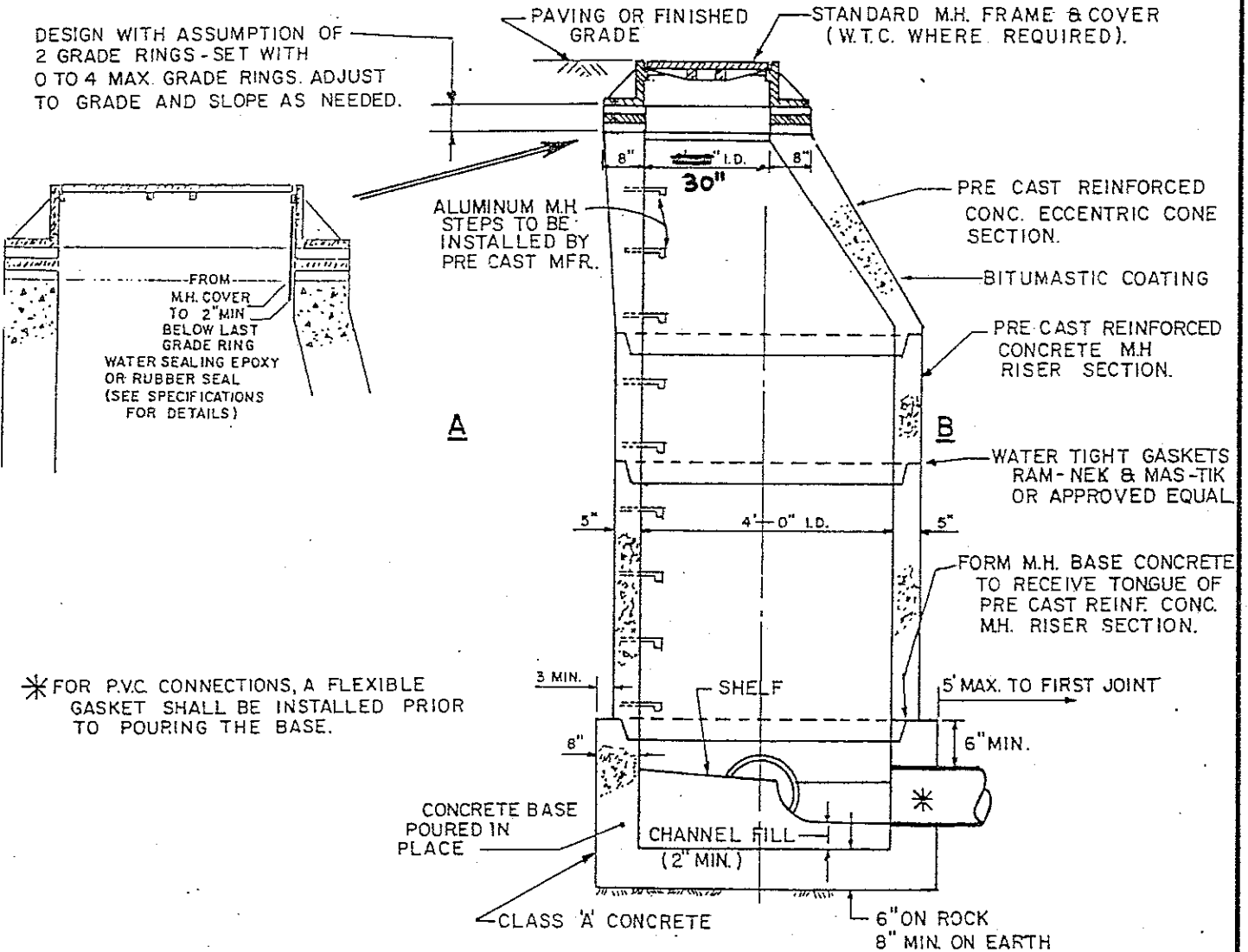
NOTES:

- 1) THE DEPTH OF THE INVERT CHANNEL SHALL BE EQUAL TO 3/4 OF THE DIA. OF THE SEWER PIPE.
- 2) THE SHELF SHALL SLOPE TOWARD THE INVERT CHANNEL AT A RATE OF 1" PER FT.



PLAN BELOW LINE A-B

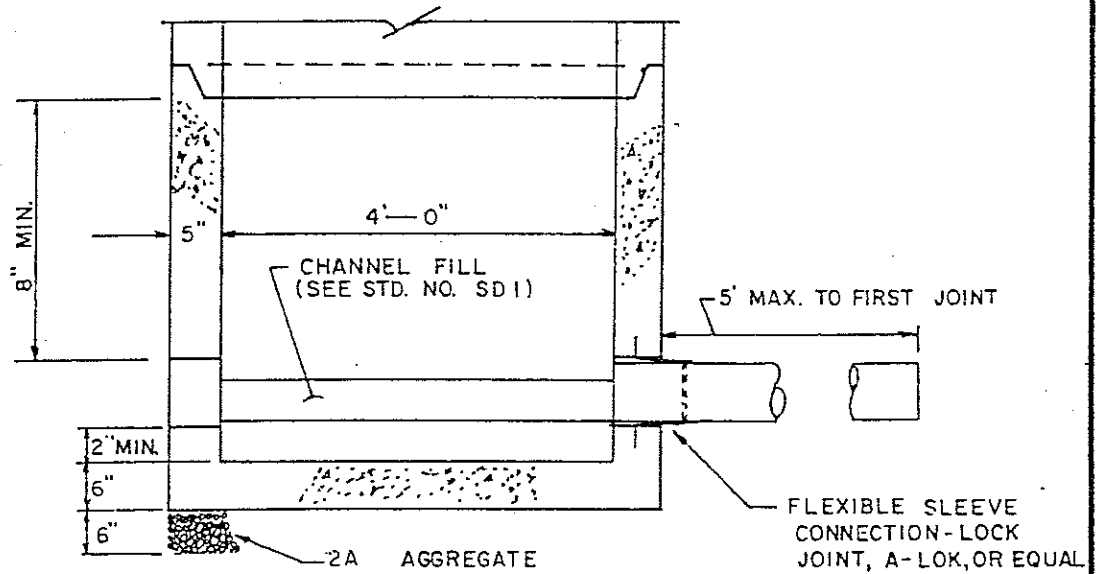
DESIGN WITH ASSUMPTION OF 2 GRADE RINGS - SET WITH 0 TO 4 MAX. GRADE RINGS. ADJUST TO GRADE AND SLOPE AS NEEDED.



FROM M.H. COVER TO 2" MIN BELOW LAST GRADE RING
WATER SEALING EPOXY OR RUBBER SEAL (SEE SPECIFICATIONS FOR DETAILS)

* FOR P.V.C CONNECTIONS, A FLEXIBLE GASKET SHALL BE INSTALLED PRIOR TO POURING THE BASE.

DATE 1/1/92	STANDARD MANHOLE - BASE CAST IN PLACE	ST'D. NO.
SCALE N.T.S.	HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA	S D I



NOTES:

- 1) SEE STANDARD NO. SD-1 FOR MANHOLE DETAILS.
- 2) PRECAST CONSTRUCTION SHALL BE IN ACCORDANCE WITH ASTM C478.

DATE
1/1/92

SCALE
N.T.S.

**STANDARD MANHOLE
PRECAST BASE**

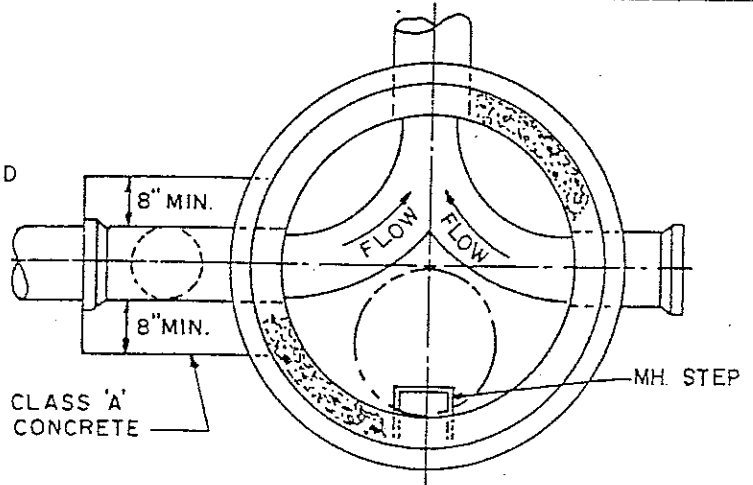
ST'D
NO.

S
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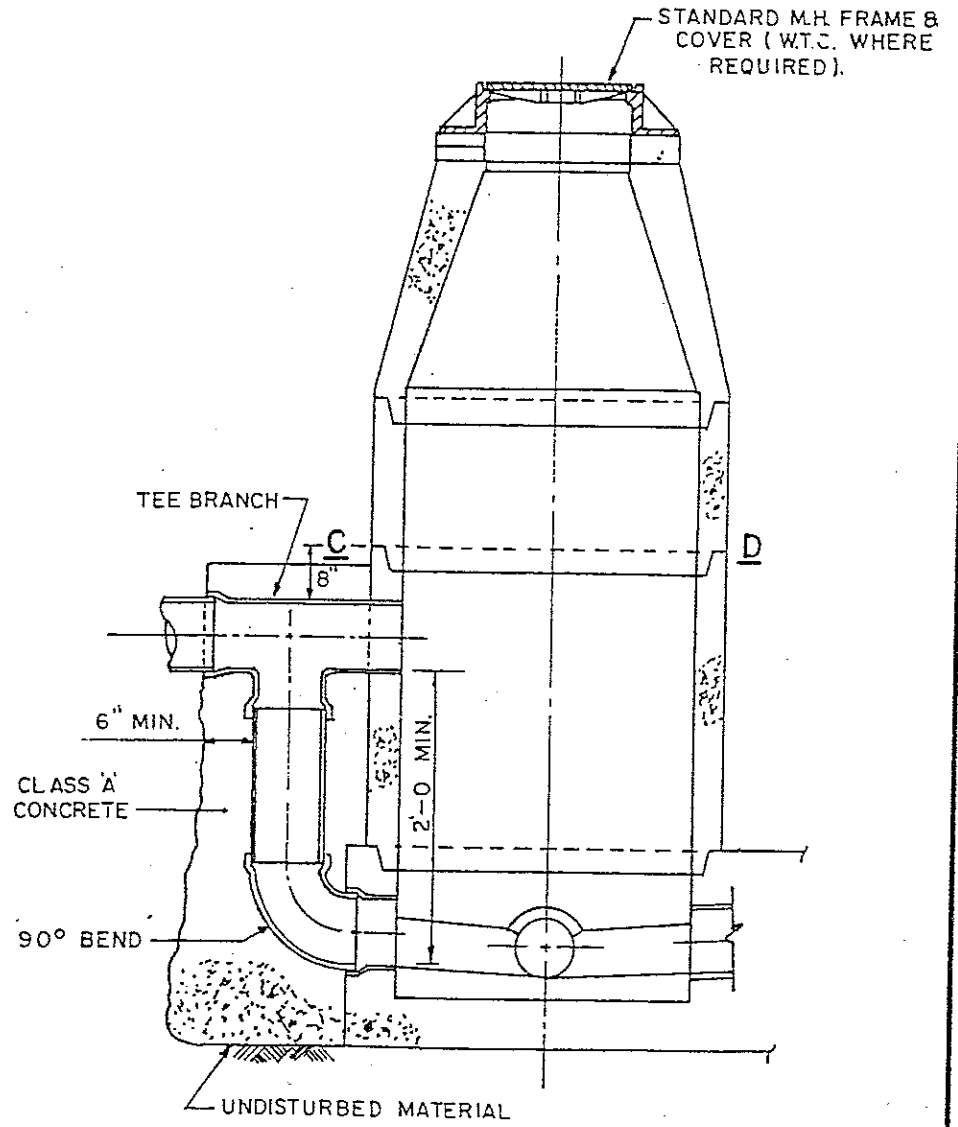
HANOVER ENGINEERING ASSOCIATES, INC.
BETHLEHEM, PENNSYLVANIA

NOTE:

1.) ALL DIMENSIONS AND DETAILS SAME AS STANDARD MANHOLE. EXCEPT AS NOTED



PLAN BELOW LINE C-D



"DROP MANHOLE"

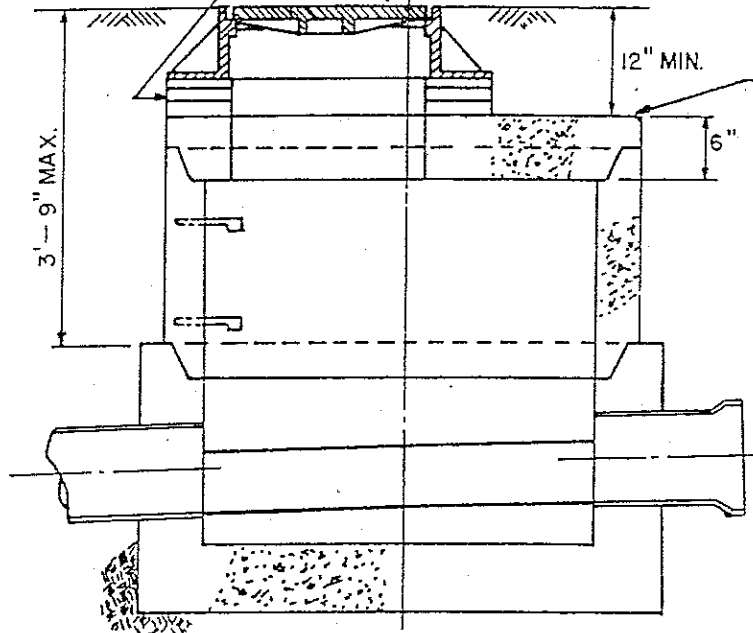
DATE
1/1/92
SCALE
N.T.S.

ST'D. NO.
S
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3

HANOVER ENGINEERING ASSOCIATES, INC.
BETHLEHEM, PENNSYLVANIA

UNLESS OTHERWISE DIRECTED BY THE ENGINEER, PROVIDE GRADE ADJUSTMENT RINGS TO OBTAIN 12" MIN. OVER SLAB.

STANDARD M.H. FRAME & COVER (W.T.C. WHERE REQUIRED)



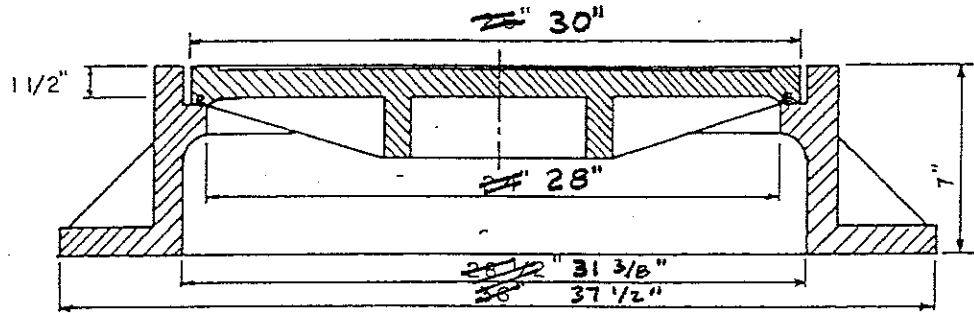
PRE CAST REINFORCED CONCRETE SLAB (ASTM DESIGN C-478).

NOTES:

- 1) SAME AS STANDARD MANHOLE EXCEPT AS OTHERWISE NOTED.
- 2) SHALLOW M.H.'s TO BE PROVIDED WHERE REQUIRED BY DEPTH CONDITIONS; ALL OTHER M.H.'s TO BE STANDARD TYPE.

DATE 1/1/92	SHALLOW MANHOLE	ST'D NO.
SCALE N.T.S.		S D 4
HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA		

FRAME SECTION



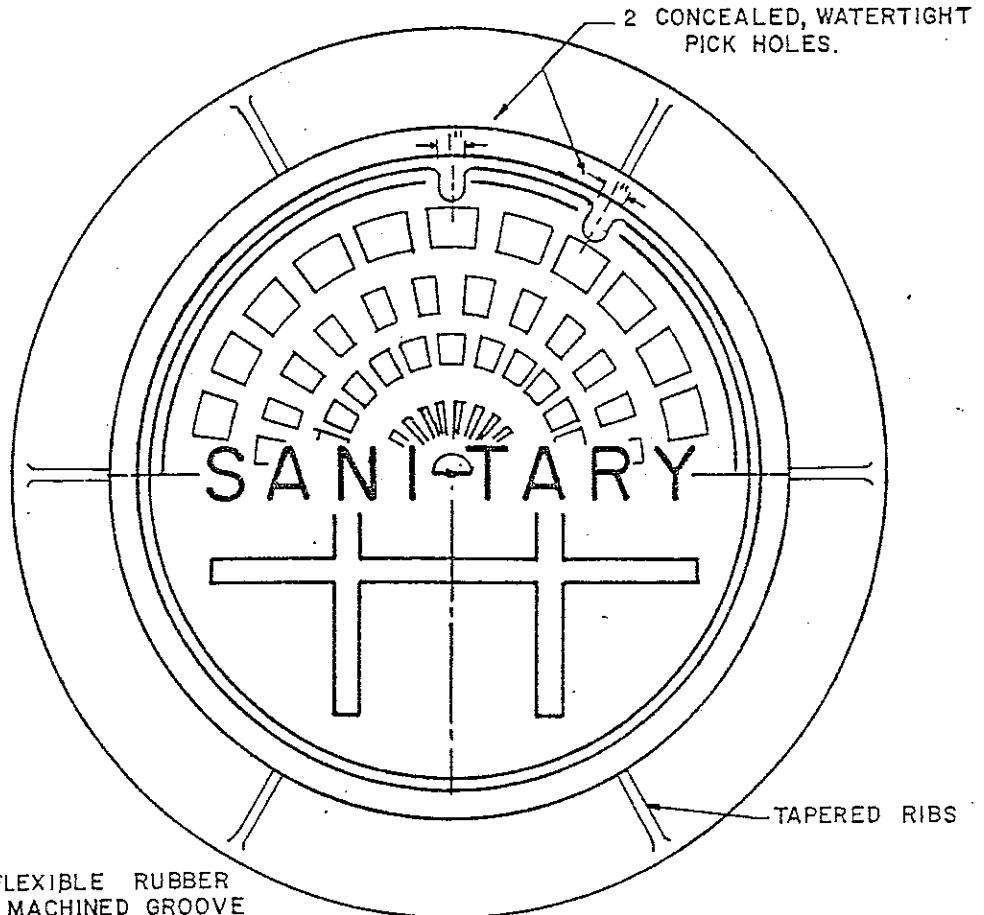
E. JORDAN IRON WORKS

NO 1480

IS SIMILAR. BUT
ONLY 4" HIGH

NOTES:

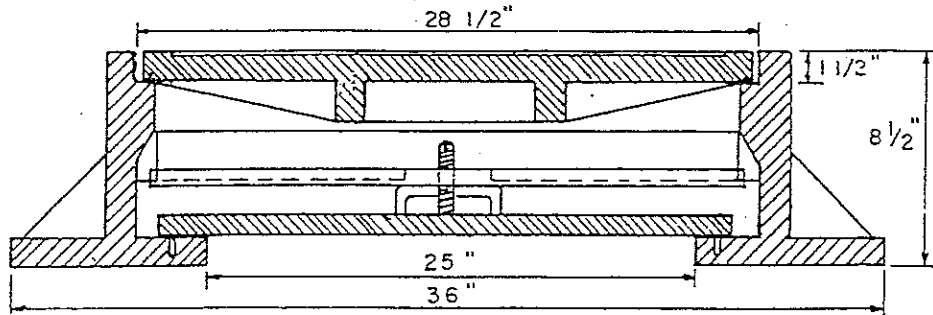
- 1) FRAMES & COVERS SHALL BE MADE OF CAST IRON AND CONFORM TO ASTM SPEC. A-48.
- 2) FRAMES & COVERS TO BE NEENAH FOUNDRY MODEL R-1642 OR APPROVED EQUAL.
- 3) ALL MANHOLE FRAMES SHALL BE FOR HEAVY DUTY TRAFFIC.
- 4) COVERS SHALL INCLUDE A FLEXIBLE RUBBER GASKET CEMENTED INTO A MACHINED GROOVE IN THE COVER.
- 5) CENTER SPACED 2" LETTERING EQUAL TO CHECKERING.



COVER PLAN
HALF BOTTOM—HALF TOP

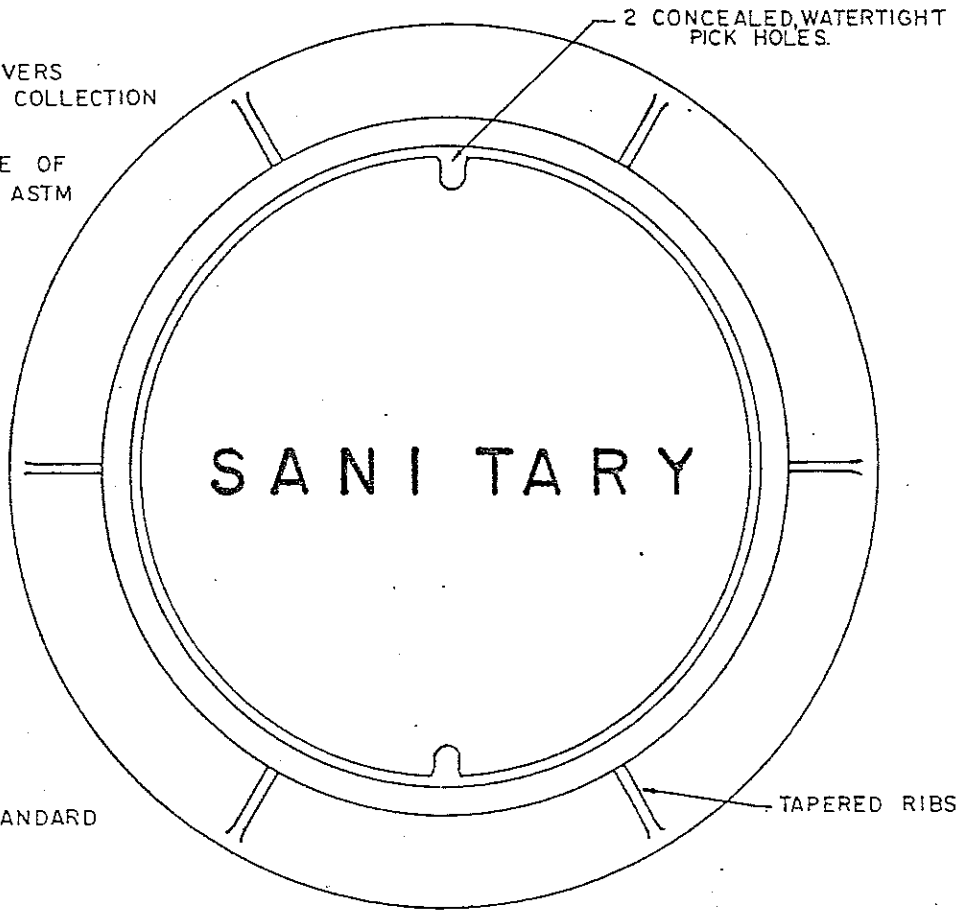
DATE 1/1/92	STANDARD MANHOLE COVER & FRAME	ST'D. NO.
SCALE N.T.S.		S D 5
HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA		

FRAME SECTION



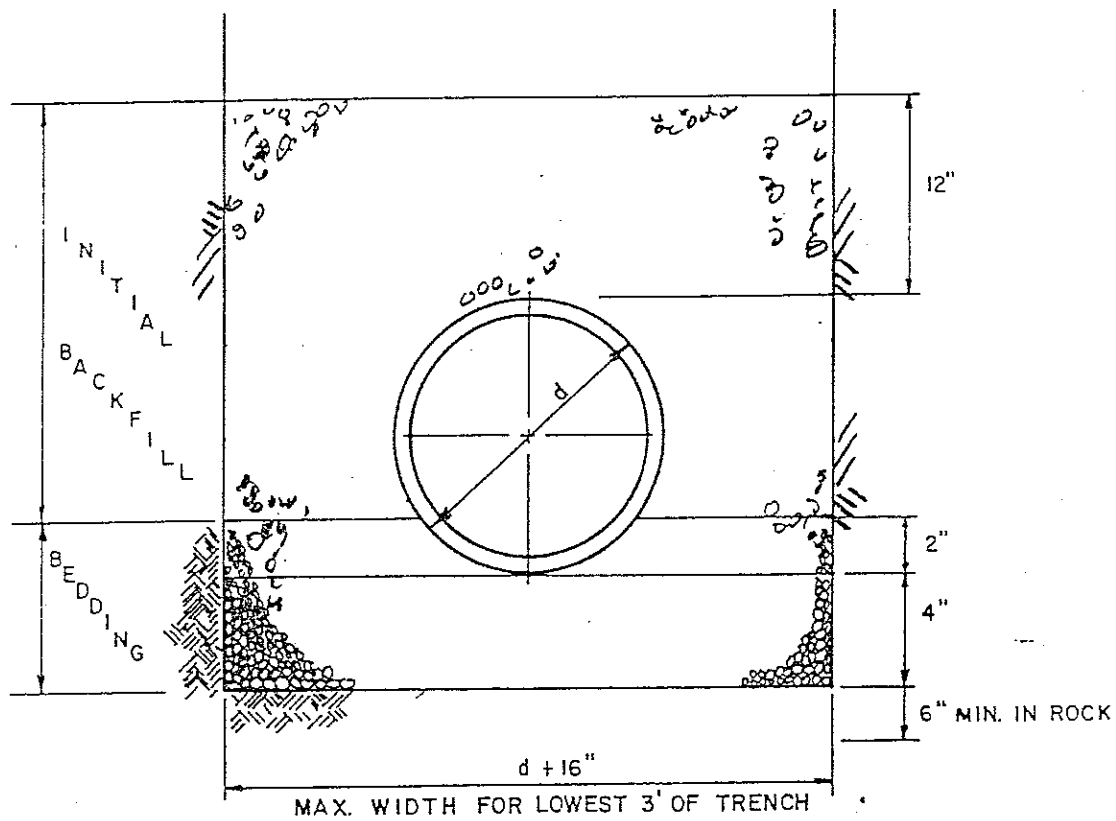
NOTES:

- 1) WATERTIGHT M.H. FRAMES & COVERS REQUIRED WHERE SHOWN ON COLLECTION SYSTEM DRAWINGS.
- 2) FRAMES & COVERS TO BE MADE OF CAST IRON AND CONFORM TO ASTM SPEC. A-48.
- 3) FRAMES & COVERS TO BE NEENAH FOUNDRY MODEL R-1755-F1 OR APPROVED EQUAL.
- 4) ALL M.H. FRAMES AND COVERS SHALL BE FOR HEAVY DUTY TRAFFIC.
- 5) COVERS SHALL INCLUDE A FLEXIBLE RUBBER GASKET CEMENTED INTO A MACHINED GROOVE IN THE COVER.
- 6) CENTER SPACED 2" LETTERING EQUAL TO CHECKERING.
- 7) FOR M.H. COVER DESIGN SEE STANDARD COVER & FRAME DETAIL.



PLAN VIEW

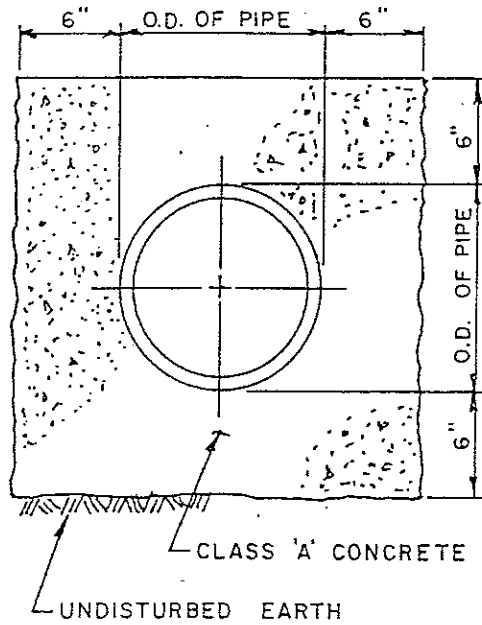
DATE 1/1/92	WATERTIGHT MANHOLE COVER & FRAME	ST'D NO.
SCALE N.T.S.	HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA	S D 6



NOTES:

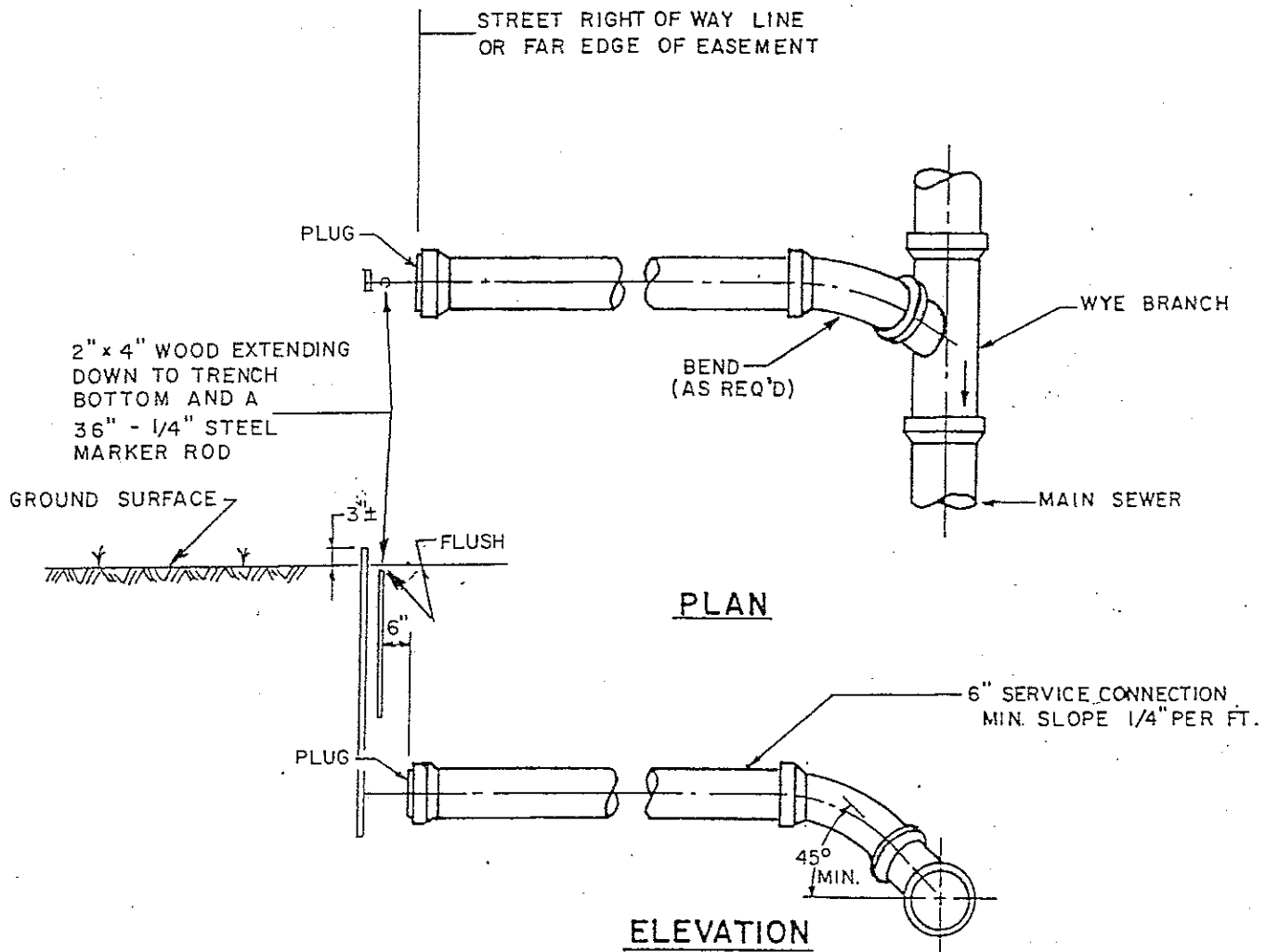
- 1.) BEDDING AND INITIAL BACKFILL MATERIAL TO BE **QUARRY SCREENINGS OR 2RC** AGGREGATE FOR GRAVITY SEWERS AND TYPE A SAND OR # 10 AGGREGATE (SCREENINGS FOR PRESSURE SEWERS OR WATER MAINS.)
- 2.) SHAPE BEDDING FOR BELL OR OTHER FITTINGS.

DATE 1/1/92	STANDARD PIPE BEDDING	ST'D NO.
SCALE N.T.S.		S D 7
HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA		



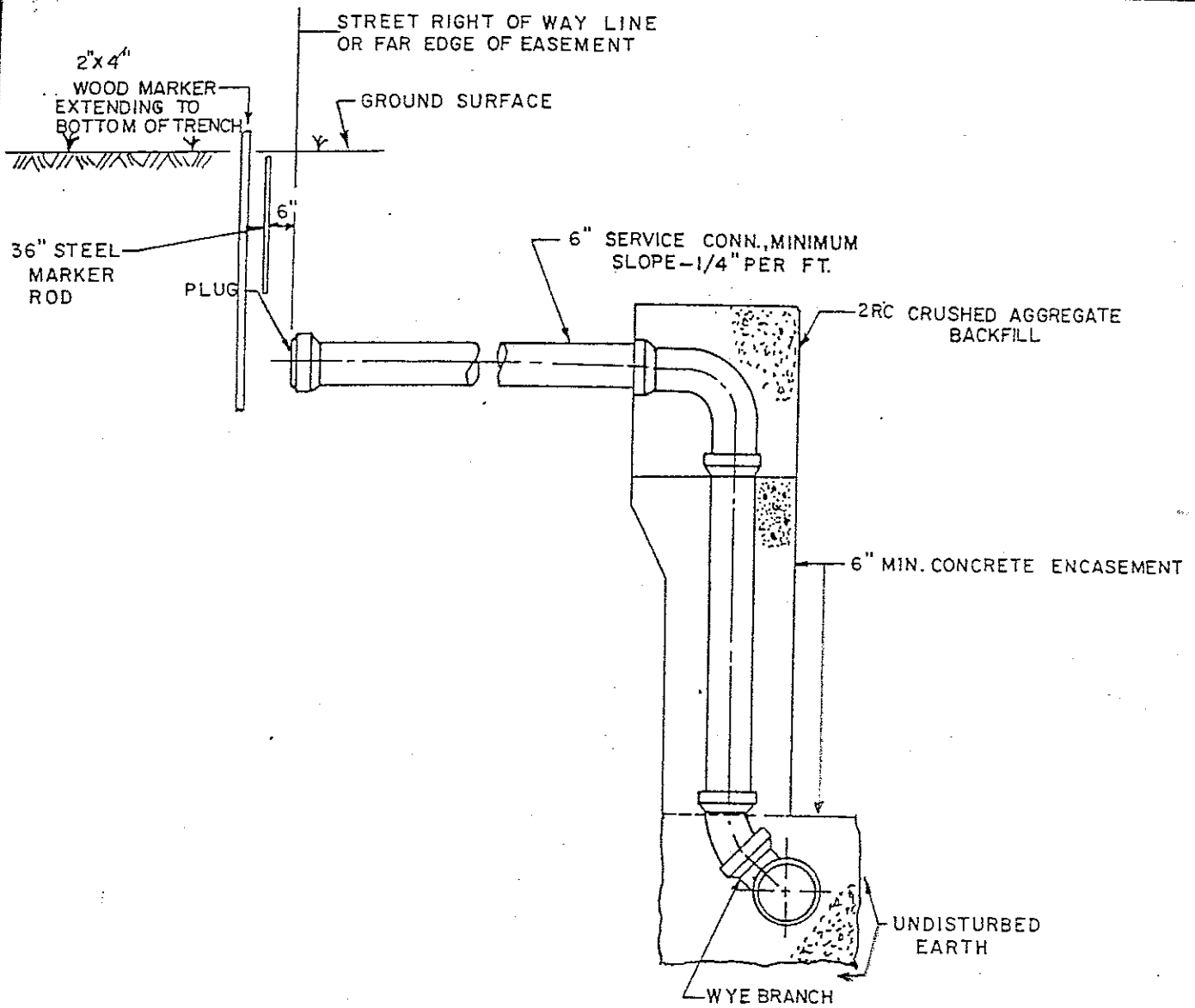
NOTE: DIMENSIONS SHOWN ARE THE MINIMUM REQUIRED.

DATE 1/1/92	STANDARD CONCRETE ENCASEMENT	ST'D NO.
SCALE N.T.S.		S D 8
HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA		



- NOTES:**
- 1) THE LOCATION OF THE END OF THE LATERAL IS TO BE MARKED WITH A 36" LONG VERTICAL 1/4" ϕ STEEL REINFORCING ROD SET OR DRIVEN FLUSH WITH GROUND SURFACE 6" BEYOND PLUG, AND A 2"X4" WOOD MARKER SET 3" \pm ABOVE GROUND AND WITH THE TOP PAINTED RED.
 - 2) SET LAST SECTION OF LATERAL WITH 3/8" PER FOOT SLOPE TO ACCOUNT FOR SOME SETTLEMENT AT THE EXPOSED END, DURING BACKFILL.

DATE 1/1/92	STANDARD LATERAL CONNECTION	ST'D NO.
SCALE N.T.S.		S D 9
HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA		



NOTE: FOR OTHER LATERAL DETAILS AND NOTES - SEE "STANDARD LATERAL CONNECTION" SD9.

DATE
1/1/92

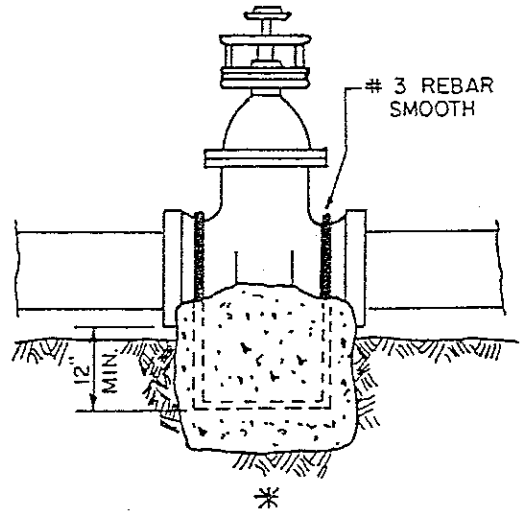
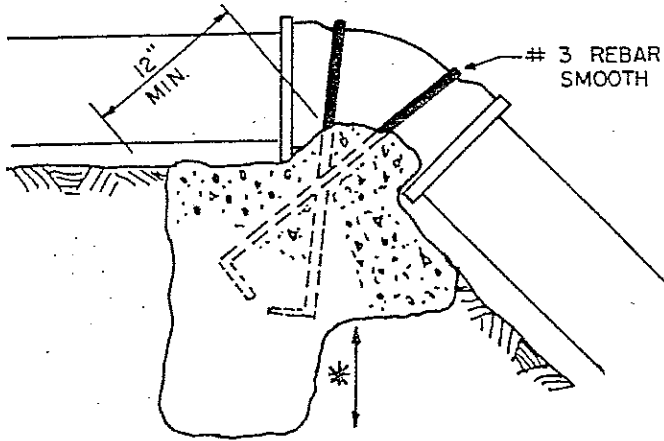
SCALE
N.T.S.

STANDARD LATERAL RISER CONNECTION

ST'D
NO.

HANOVER ENGINEERING ASSOCIATES, INC.
BETHLEHEM, PENNSYLVANIA

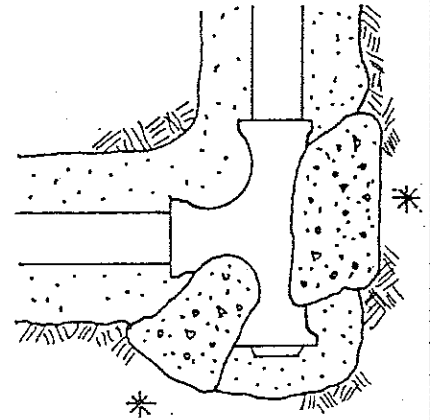
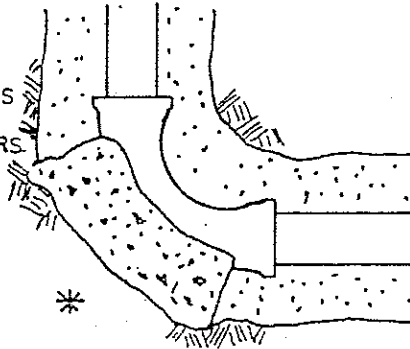
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TYPICAL DETAILS

NOTES:

- 1) PROVIDE THRUST BLOCKING AT ALL CHANGES IN DIRECTION, ALL TEES, ELBOWS, WYES CAPS, VALVES, HYDRANTS AND REDUCERS.
- 2) BEARING REQUIRED ON UNDISTURBED EARTH.
- 3) FOR OTHER CONDITIONS FOLLOW SIMILAR PATTERNS.

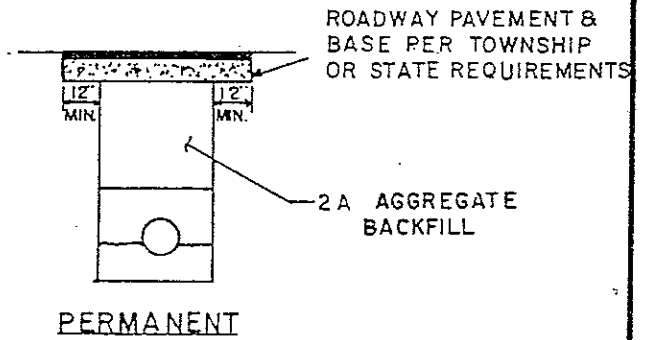
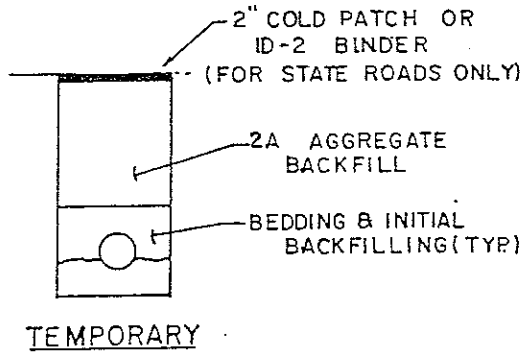


PIPE SIZE	BRG. AREA REQD. *	MIN. BRG. WIDTH
2"	2 S.F.	12"
4"	5 S.F.	18"
6"	10 S.F.	18"
8"	17 S.F.	24"
10"	26 S.F.	24"

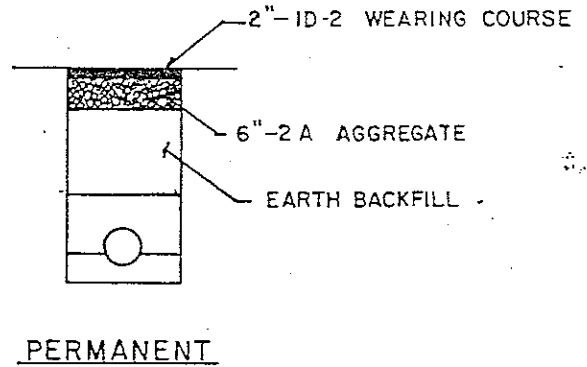
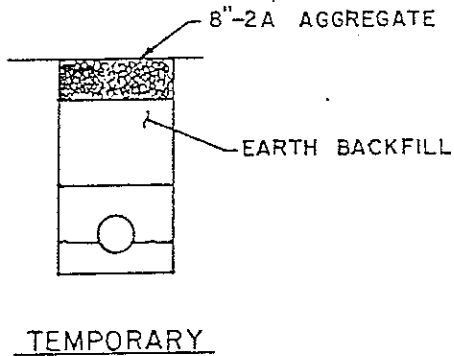
NOTE: THIS DETAIL ALSO APPLIES TO WATER MAIN CONSTRUCTION-REQUIRED FOR THE PROJECT. (IF ANY)

DATE 1/1/92	FORCE MAIN THRUST BLOCKING	ST'D NO.
SCALE N.T.S.	HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA	S D II

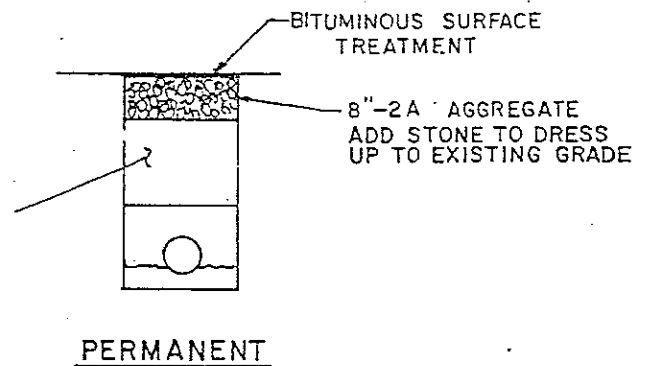
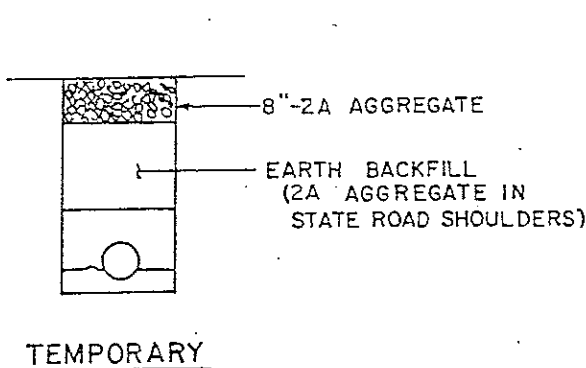
PAVING IN STATE AND TOWNSHIP ROADS



PAVING IN PRIVATE DRIVEWAYS, PARKING LOTS, & ALLEYS



SURFACING IN UNPAVED SHOULDERS, ROADS, PRIVATE DRIVES & ALLEYS



NOTES:

- 1) THESE SPECIFICATIONS SHOULD BE USED UNLESS OTHERWISE SHOWN ON APPROVED DRAWINGS AND/OR PERMIT DOCUMENTS.
- 2) SEE SPECIFICATIONS FOR SPECIFIC DETAILS & CONSTRUCTION MATERIALS.
- 3) ALL RESTORATION WORK IN STATE RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS OF PENNDOT CHAPTER.459, TITLE 67 OF THE PENNSYLVANIA CODE.

DATE
1/1/92

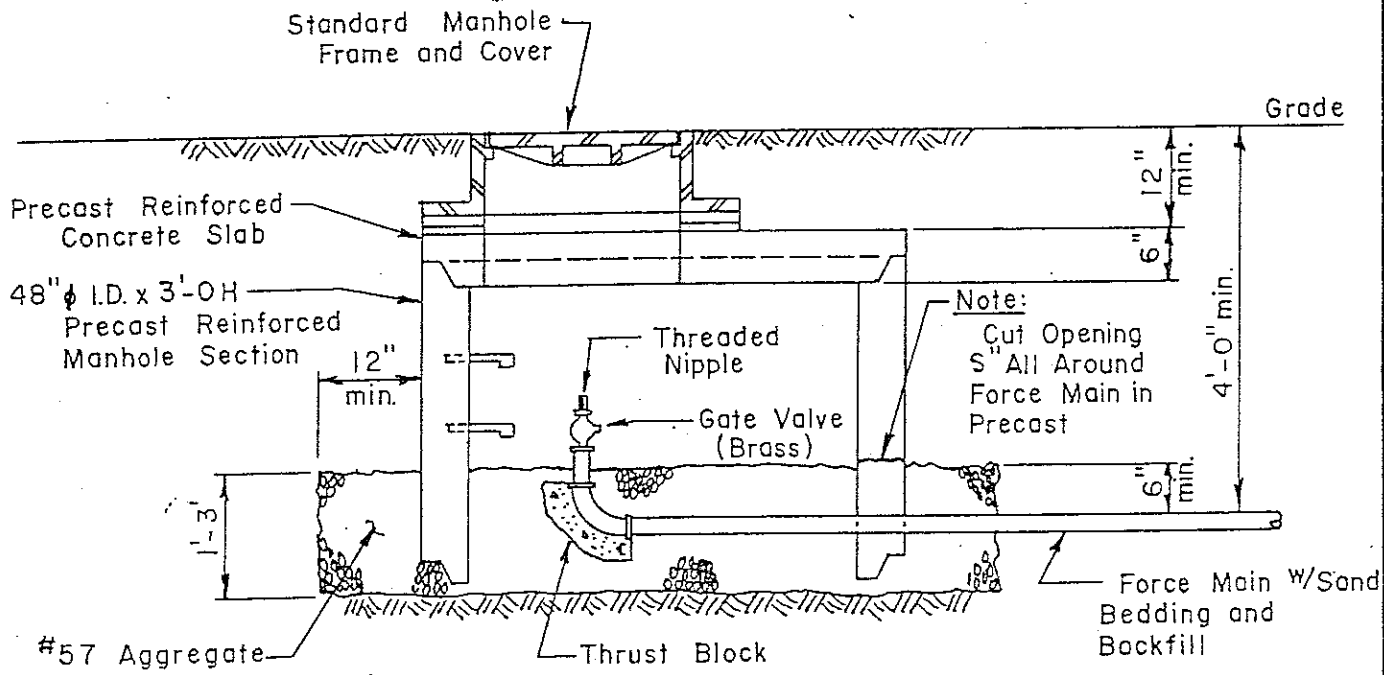
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N.T.S.

PAVING RESTORATION

ST'D
NO.

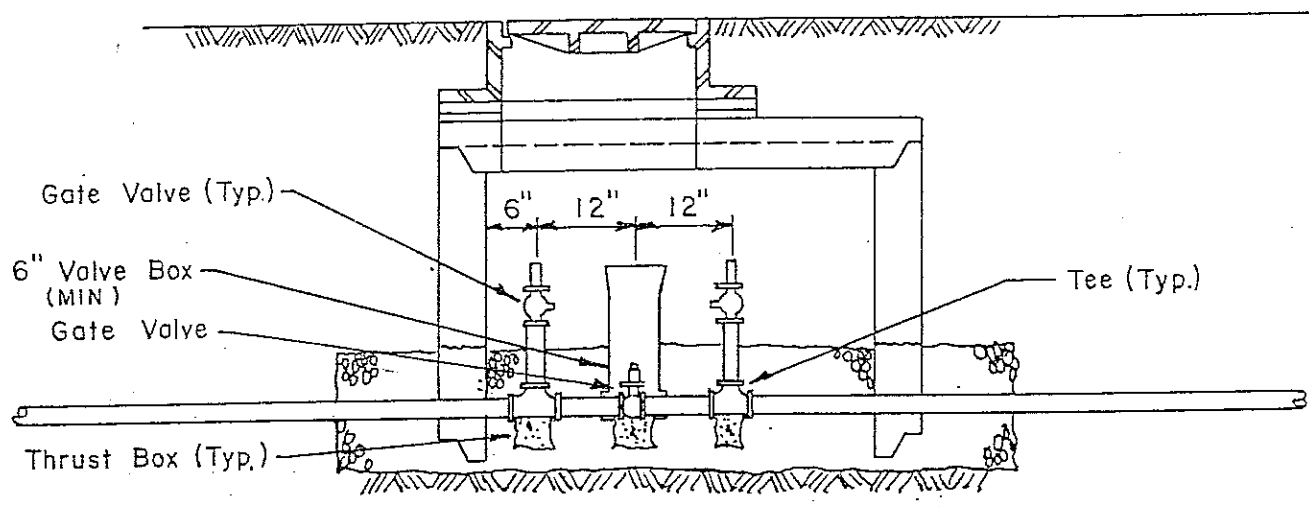
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HANOVER ENGINEERING ASSOCIATES, INC.
BETHLEHEM, PENNSYLVANIA



- Notes:**
- Construction To Conform To Shallow Manhole Details Except As Noted.
 - Keep Valves Under Manhole Cover For Easy Access.

TERMINAL CLEANOUT



- Note:**
Manhole Details Same as Terminal Cleanout

IN-LINE CLEANOUT

DATE: 1/1/92	FORCE MAIN CLEANOUT - SMALL DIAMETER	ST'D NO.
SCALE: N.T.S.		S D 13
HANOVER ENGINEERING ASSOCIATES, INC. BETHLEHEM, PENNSYLVANIA		

AS SUPPLIED TO LSA
 REC'D FROM JILL 8/22/00

EAST JORDAN IRON WORKS, INC. P. O. BOX 439 EAST JORDAN, MI. 49727 1-800-874-4100 FAX 616-536-7058		DRAIN DEV	DATE 02/23/98
APPROVED <i>HES</i>		DATE 2/23/98	MANHOLE FRAME & COVER
PRODUCT NO. 132056		CATALOG NO. 1320Z 1480AGS	
REF. PRODUCT DRAWING 132013 148122		EST. WT. COVER: 200 LBS 91KB FRAME: 255 LBS 116K9 UNIT: 455 LBS 208K9	
OPEN AREA N/A		MAT'L SPEC. COVER - GRAY IRON ASTM A48 CL35 FRAME - GRAY IRON ASTM A48 CL35	
LOAD RATING HEAVY DUTY			

